

Gwydir Shire Council Wellness & Interpretive Centre

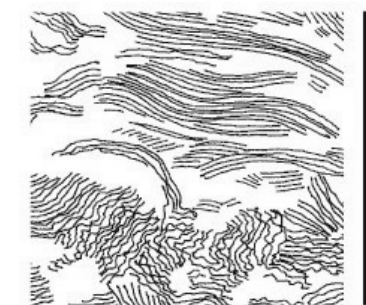
Project No:

1122

Address:

Narrabri Road, Bingara, NSW

CONSTRUCTION



SKYRING
ARCHITECTS

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ACN: 128 440 924
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
D	30.10.2020	CONSTRUCTION
C	17.07.2020	REVISION DRAFT
ISSUE	DATE	DESCRIPTION

CLIENT:
Gwydir Shire Council

PROJECT NO.
1122

PROJECT NAME:
**Wellness & Interpretive Centre
Narrabri Rd, Bingara**

PLOT DATE: 10/17/2020 9:17 AM
DRAWN: SS CHECKED: SS

SCALE @ A3: n/a 

ISSUE
CONSTRUCTION
TITLE
Cover Sheet

DWG NO. **CD- A-000** ISSUE **D**

PROJECT CONTACTS:

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ENGINEER
Local Government Engineering Services
Jacob Tan:
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ARCHITECTURAL DOCUMENT LIST

000	Cover Pages, Notes and Site Information
100	General Arrangement Drawings
200	Elevations and Sections
300	Architectural Details
400	Interior Fitout Drawings
500	Electrical, Internet & Audio Visual Drawings
600	Door & Window Drawings
700	Written Schedules

BUILDING DESIGN INTENT:

Environmental Sustainability

Design decisions and product selections have been undertaken using the following criteria:

ENERGY:

- CLEAN ENERGY SOURCE: Avoid gas, use electricity & solar power.
- ENERGY EFFICIENCY: natural lighting, efficient lighting & power systems.
- CLIMATE RESPONSIVE DESIGN: long sides of the building and glazing facing towards northern light for passive heating in winter, rammed earth and concrete for insulation and passive heating and cooling, Roof overhangs for shading in summer.

WATER:

- WATER EFFICIENCY: Collection of rainwater for reuse, water efficient tapware and plumbing fittings.

MATERIALS & WASTE:

- MINIMISE MATERIALS CONSUMED: Concrete floors, rammed earth walls, minimal tiling in wet areas.
- MINIMISE SITE WASTE: Minimal onsite paint finishes, prefabricated lightweight timber trusses, minimal tiling.
- DURABLE MATERIALS: Aluminium doors and windows, concrete and steel finishes.
- Avoid PVC where possible

AIR QUALITY:

- LOW OR ZERO VOC: waterbased paint finishes, prefinished materials requiring no additional finishing,
- Minimal onsite use of paint and sealants.

ADAPTABILITY:

- MULTIPLE USES: Buildings are flexible spaces that can be adapted to suit a multitude of uses to meet local needs.

ASK THE ARCHITECT

Before you change anything....please talk to the Architect.

Every aspect of these documents has been painstakingly considered with respect to client brief, functionality, budget, environment, climate responsive design, buildability, regional site context and design. Changes may have ramifications across other parts of the design and lead to a disappointing outcome.

I am always happy to proactively collaborate on changes to improve ease of construction & save money..... but it pays to talk first.

Please call Stephanie Skyring on 0401 867 983 about any questions and I will resolve your query immediately.

NOTES

APPROVALS

BUILDING APPROVAL:

No building work shall be commenced prior to Building Approval by a registered Certifier.

FINAL CERTIFICATE:

The Builder shall obtain the Final Certificate from the Certifier at the completion of the work.

DRAWINGS AND DOCUMENTATION

CONSULTANTS: Architect's drawings and documentation shall be read in conjunction with Engineers drawings and documentation. All structural information shall be taken from the Engineer's drawings and documentation. Any discrepancy between the Architect's and Engineer's drawings or documentation shall be confirmed with the Architect prior to any work being undertaken.

DIMENSIONS: Do not scale off drawings - use figured dimensions only. Contractor shall verify all dimensions on site prior to construction. Any discrepancies or errors shall be referred to Architect and Client prior to installation / manufacture of any works. Confirm levels & RL's on site prior to commencement of work.

DOCUMENTATION: The contractor shall carry out works in accordance with the signed drawings and schedules and anything reasonable inferred, and with the Conditions of Contract, and in accordance with the directions and to the satisfaction of the Architect, whose interpretation of the contract documents shall be final. The drawings and specifications/schedules shall be considered complementary, and any work and/or materials absent from one but present or implied in the other shall be furnished as if they were present in both. Any discrepancy between the drawings and the schedules shall be confirmed with the Architect prior to any work or manufacture being undertaken.

CONSTRUCTION SPECIFICATION

ALL WORKS shall be carried out in accordance with the Building Code of Australia, Australian Standards, Local Council requirements, Queensland Building Act guidelines and all other relevant bylaws and authorities. In particular refer Australian standards:

- site preparation A.S. 3798
- concrete construction A.S. 2870
- timber construction and details A.S. 1684.2
- steelwork AS 4100, AS 1111 and A.S. 1112
- termite protection BCA and A.S. 3660.1
- artificial lighting & ventilation BCA parts 3.8.4/3.8.5 and A.S. 1680
- fire safety BCA part 3.7
- smoke alarms BCA part 3.7.2 and A.S. 3786
- glazing BCA part 3.6 and A.S. 1288 and A.S. 2047

EROSION CONTROLS: All building works to comply with local authorities' erosion and sediment control standards

SETOUT: Contractor to confirm exact siting and orientation prior to construction set out. All building set out and confirmation of setbacks and height to be carried out by a Licensed Surveyor. No footing or wall to encroach the title boundary.

LICENSED TRADESPERSONS: All services to be installed by licensed tradespersons in accordance with local authority and with current manufacturers specifications.

SITE DISCHARGE: All stormwater and sanitary plumbing to be connected to existing council system in accordance with the requirements of the relevant local authority.

CONCEALMENT OF SERVICES: All services shall be concealed in walls or ducts. Where services are exposed they must be confirmed by the Architect on site prior to installation unless noted otherwise

GENERAL MATERIALS & EQUIPMENT SPECIFICATION

PROPRIETARY ITEMS: Identification of a proprietary item does not necessarily imply exclusive preference for the item so identified, but indicates the necessary properties of the item. If alternatives are proposed, submit samples, available technical information, reasons for proposed substitutions and cost for proposed alternatives

ALL PRODUCTS: To be installed to manufacturers' requirements and to be in accordance with manufacturers requirements for suitable exposure levels.

TERMITE PROTECTION: Termite protection by means of Termimesh S.S. mesh physical barrier in accordance with A.S. 3660.1/2000 and installed in strict accordance with current manufacturer's specifications. Provide steel capping plate fully welded and sealed at the base of steel posts to prevent termite ingress.

STRUCTURAL STEEL: Unless noted otherwise all exposed structural steel, anchor bolts and other attachments shall be hot dip galvanised. A cold galvanised (painted) finish shall be applied to any field welding to existing or new steelwork. All steel work cast in concrete footings or slab shall have a bitumen finish applied to full extent of cast in concrete steel. Check all dimensions on site prior to fabrication of steelwork.

RETAINING WALLS: All retaining walls to Structural Engineers details. Provide rubble backfill and agg drainage to all retaining walls. Builder to provide tanking where required.

SLAB & FOOTINGS: All slabs and footings to structural engineer's details. A polyethylene moisture barrier shall be lapped 200mm and fully taped under any habitable concrete slab and shall extend 100mm onto the perimeter footing.

ARTICULATION JOINTS: Provide articulation joints to comply with "Cement and Concrete Association Construction Note TN9".

WATERPROOFING: All wet areas and walls to be waterproofed in accordance with the BCA 3.8 & AS 3740. Builder to provide certificate of installation and compliance.

ROOF DRAINAGE: All downpipes to be located as noted on the drawings and sizes as scheduled. Allow to connect to in-ground storm water drains with 90mmØ UPVC at 1:100 minimum grade. Allow for I.O.'s at each change of direction and at 6000mm centres.

WATER LINES: All hot water lines shall be fully insulated. All domestic hot water to basins, showers and baths to have maximum temperature of 50°C. Allow to supply and install tempering valves where required, as nominated in the BCA and relevant standards.

TILES: Expansion joints, walls: 5mm. Floors: 8mm. Fill both with silicone rubber. Grout for wall: Epoxy based mildew resistant. Grout for floors: prepared grout to be acid resistant.

INTERNAL PAINTING: Unless noted otherwise use Resene approved 3 coat paint system - low sheen finish. Colours to be supplied by Architect during contract and applied as per manufacturer's recommendations and guidelines.

SANITARY COMPARTMENTS: Provide removable hinges to doors of sanitary compartments to comply with BCA 3.8.3.3 and be readily removable from outside unless there is a clear space of at least 1200mm b/w closet pan within the sanitary compartment and the nearest part of the doorway.

APPLIANCES & EQUIPMENT: Builder to co-ordinate all appliance and equipment locations on site and with joiner. Installation and final connection by the contractor.

WEATHERSTRIPS: All external doors to contain weather stripping (type to be confirmed with Architect prior to manufacture)

DRAWING LEGEND

FLOOR FINISHES

CONC CONCRETE

ELEVATIONS & SECTIONS

TMB TIMBER BATTENS
 FG FIXED GLASS
 LV LOUVRES
 PB PLASTERBOARD
 CS CORRUGATED STEEL SHEETING
 FC FIBRE CEMENT SHEETING

ROOF

DP DOWNPIPE
 SP SPANDEK SHEETING
 EG EAVES GUTTER
 MRC METAL ROOF CAPPING
 MRF METAL ROOF FLASHING
 VP VENT PIPE

APPLIANCES

CTP COOKTOP
 DW DISHWASHER
 MO MICROWAVE OVEN
 R REFRIGERATOR
 RH RANGE HOOD
 WO WALL OVEN

GENERAL MATERIALS

GALV GALVANISED
 HDWD HARDWOOD
 INS INSULATION
 RC REINFORCED CONCRETE
 RHS RECT. HOLLOW SECTION
 SHS SQUARE HOLLOW SECTION
 SS STAINLESS STEEL
 SC STEEL COLUMN

NOTES AND DIMENSIONING

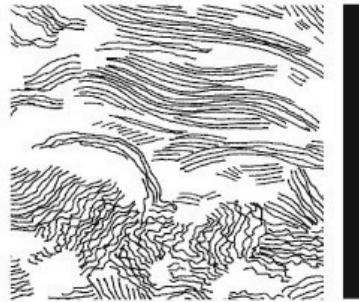
COS CHECK ON SITE
 DAR DRESSED ALL FACES
 DIA DIAMETER
 DWG DRAWING
 E/S EACH SIDE
 EA EACH
 ELEV ELEVATION
 EQ EQUAL
 EX EXISTING
 NTS NOT TO SCALE
 O/H OVERHANG
 REF REFERENCE
 TBA TO BE ADVISED
 U/S UNDERSIDE

SETOUT & LEVELS

EX EXISTING LEVEL
 FCL FINISHED CEILING LEVEL
 FFL FINISHED FLOOR LEVEL
 FGL FINISHED GROUND LEVEL

PLUMBING

FW FLOOR WASTE
 HC HOSE COCK
 HWU HOT WATER UNIT
 S SINK
 WC WATER CLOSET
 ORG OVERFLOW RELIEF GULLY
 RWT RAINWATER TANK



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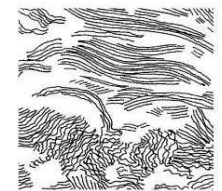
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**Notes & Drawing
 Legend**

DWG NO. ISSUE

CD- A-001

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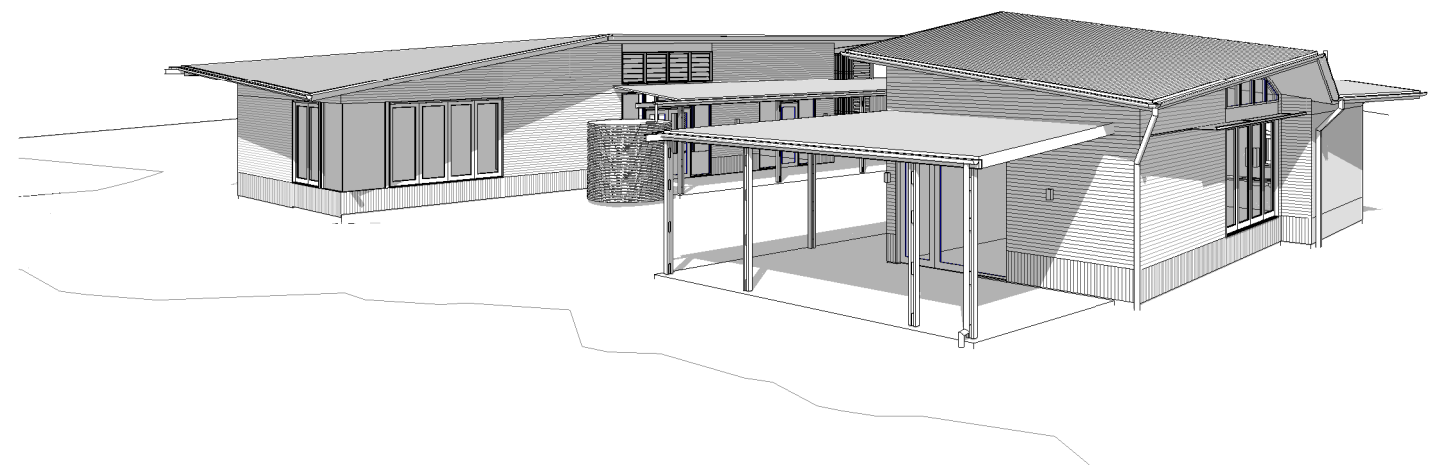
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SCALE @ A3 :

APPROX

ISSUE

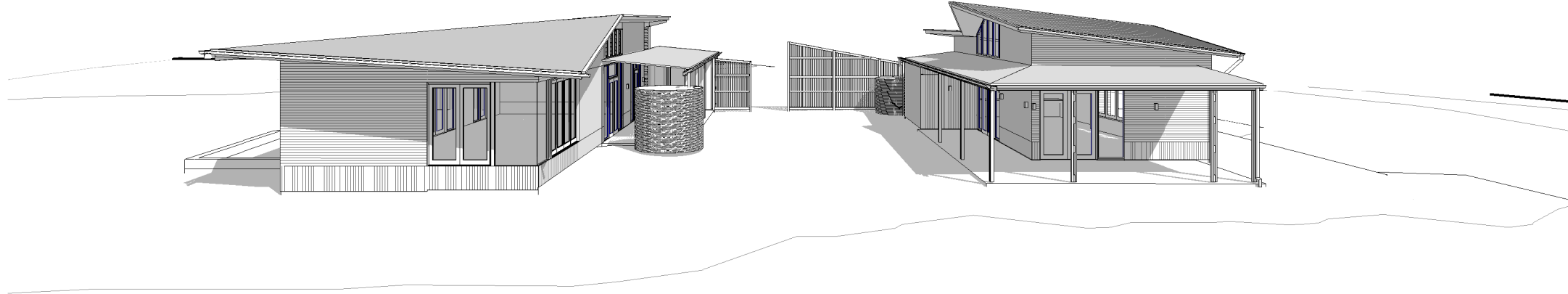
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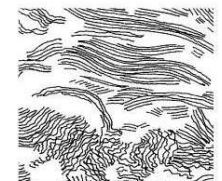
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3D Drawings

DWG NO. ISSUE

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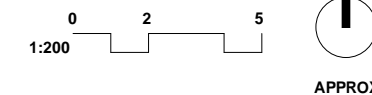
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SCALE @ A3 : 1 : 200



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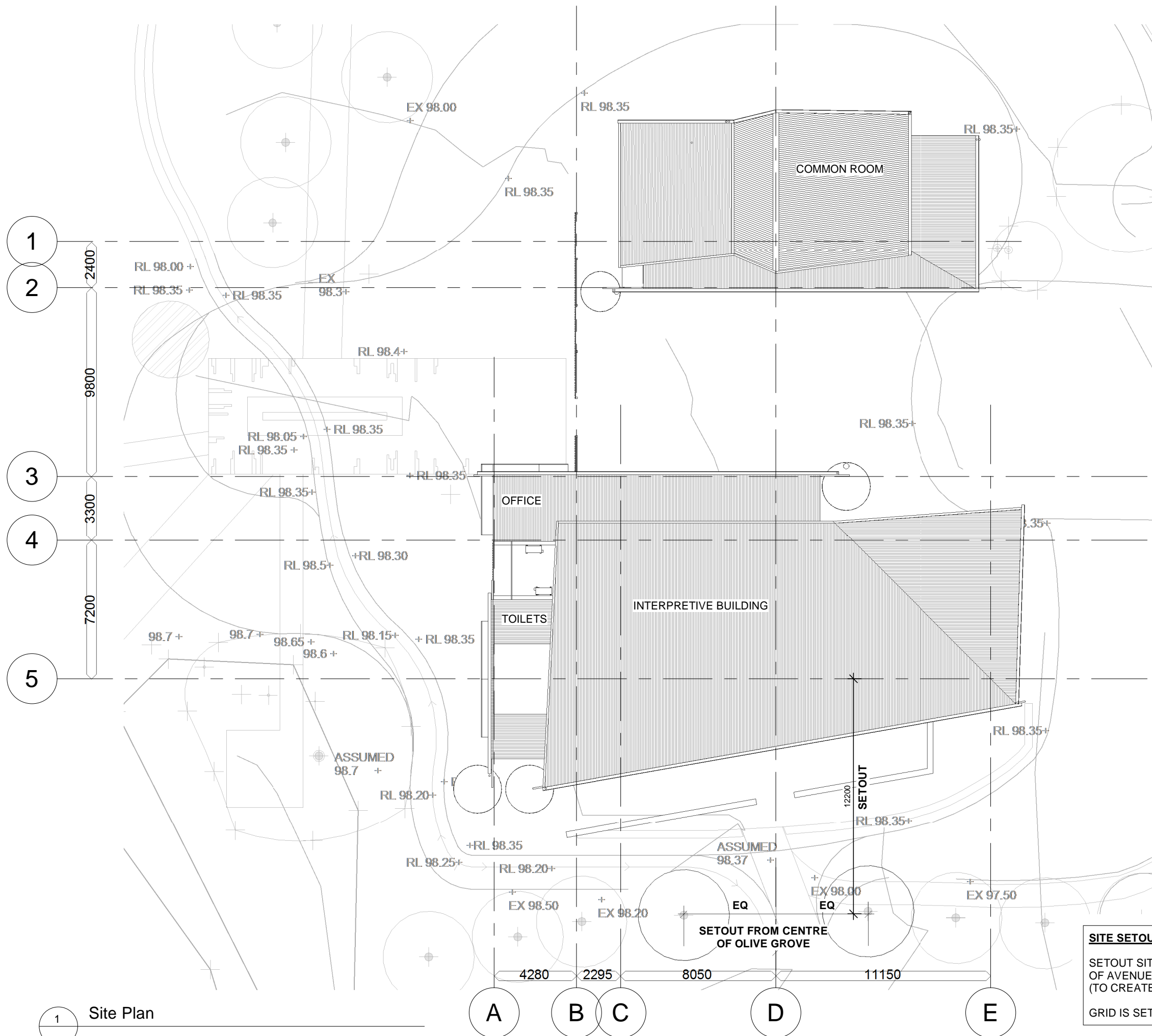
Site Plan

DWG NO.

CD-A-010

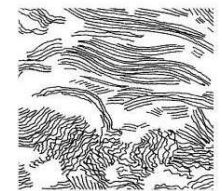
ISSUE

D



1 Site Plan

1 : 200



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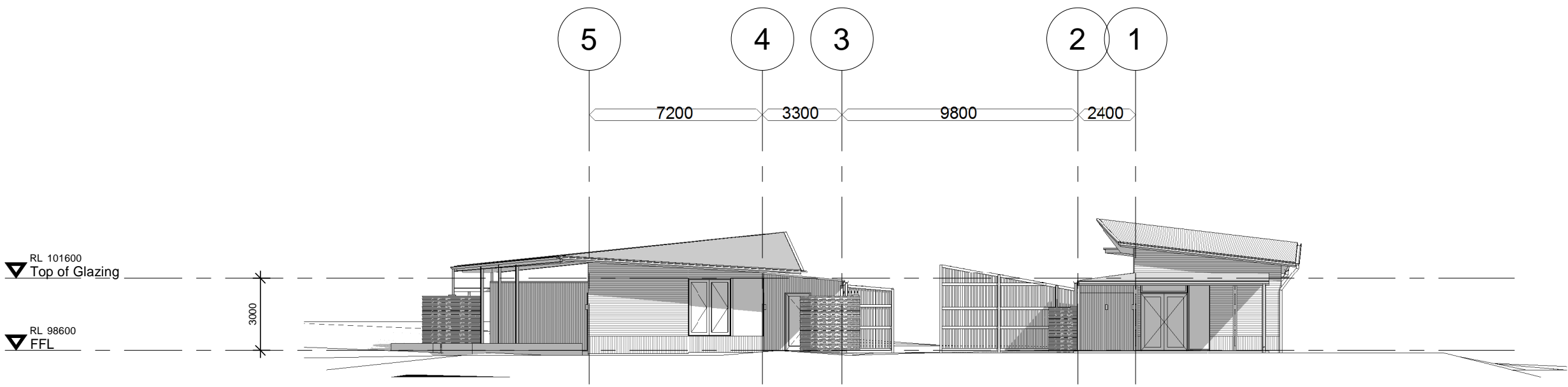
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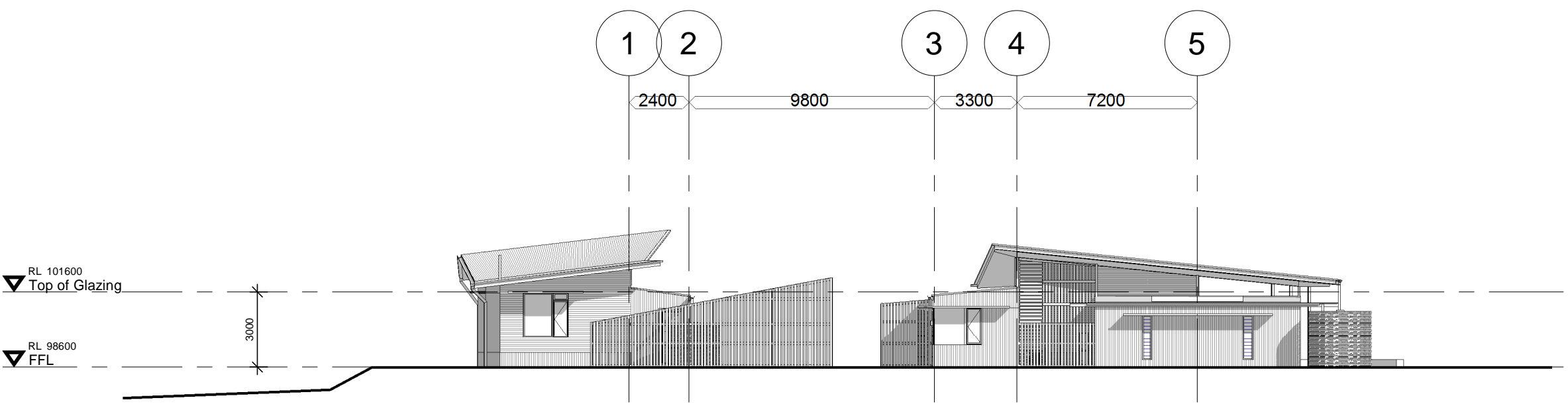
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1 Site Elevation - East
1 : 200



2 Site Elevation - West
1 : 200

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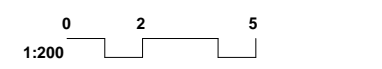
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Wellness & Interpretive Centre

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TITLE
Site Elevations - East & West

DWG NO. **CD-A-011** ISSUE **D**

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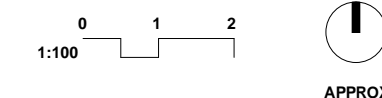
PROJECT NAME

**Wellness & Interpretive
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SCALE @ A3 : 1 : 100



ISSUE

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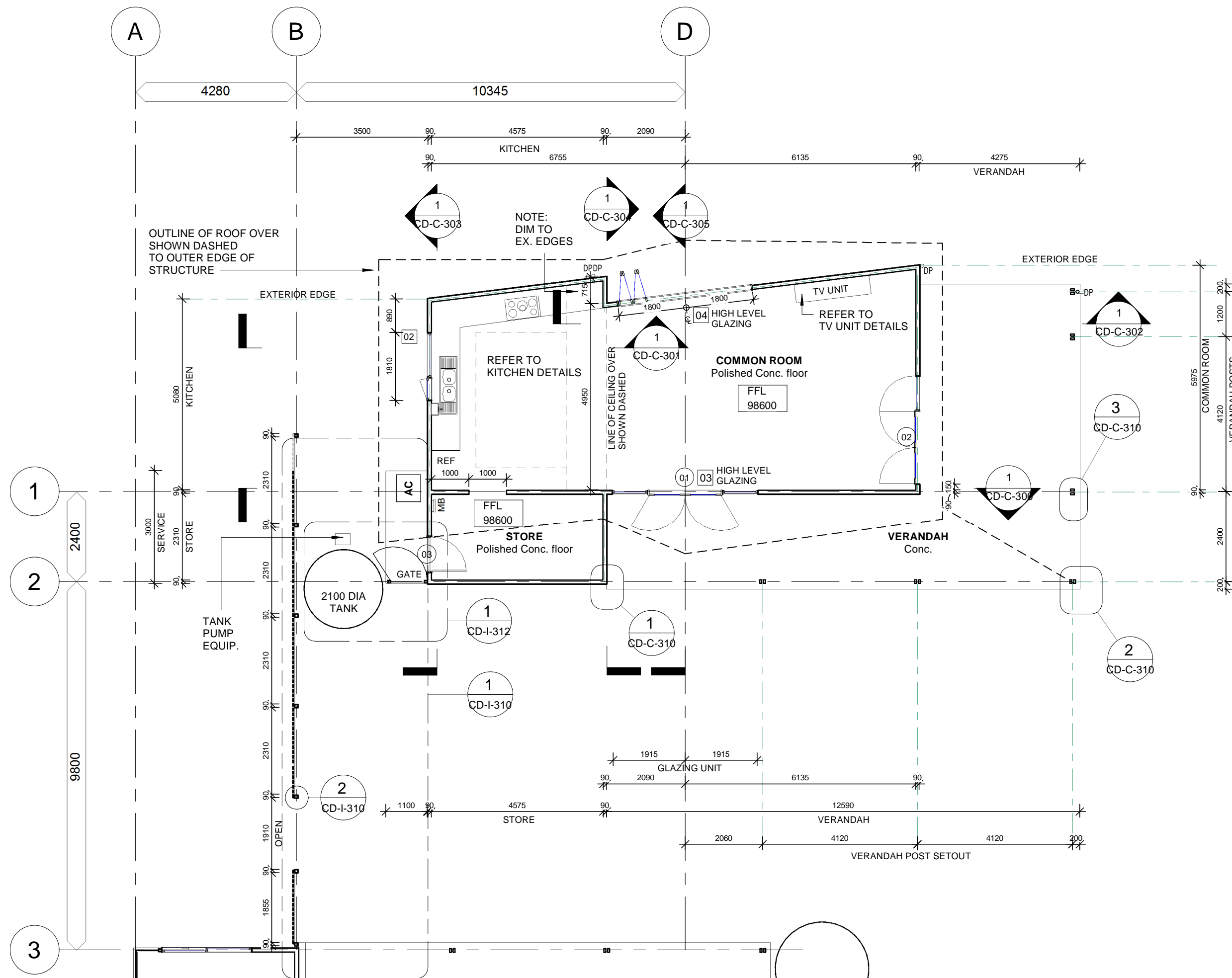
**Common Room -
Floor Plan**

DWG NO.

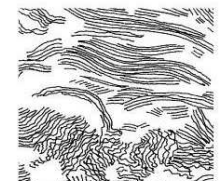
CD-C-100

ISSUE

D



1 Common Room - Floor Plan
1 : 100



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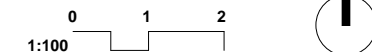
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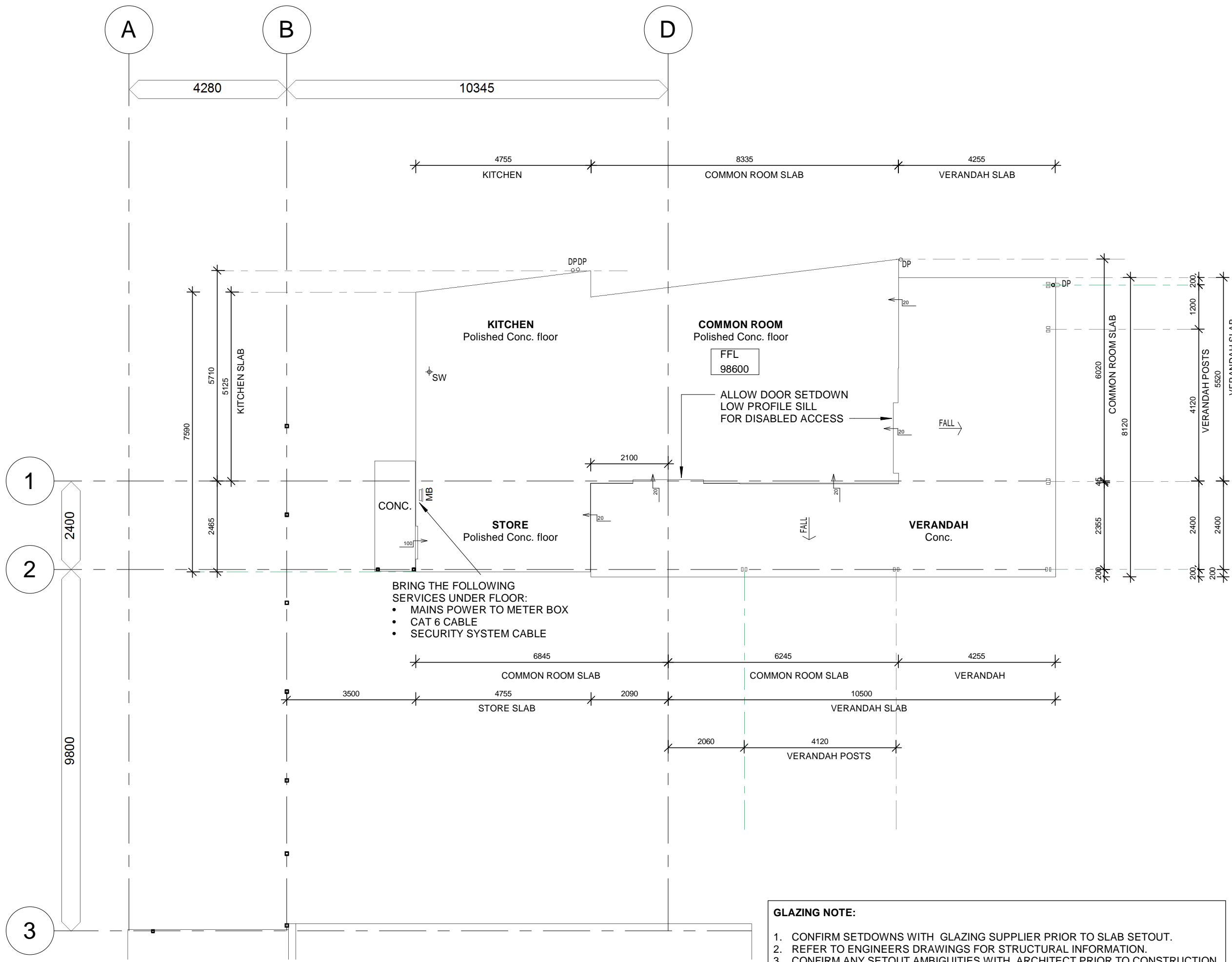
Common Room - Slab Plan

DWG NO.

CD-C-101

ISSUE

D



- BRING THE FOLLOWING SERVICES UNDER FLOOR:
- MAINS POWER TO METER BOX
 - CAT 6 CABLE
 - SECURITY SYSTEM CABLE

GLAZING NOTE:

1. CONFIRM SETDOWNS WITH GLAZING SUPPLIER PRIOR TO SLAB SETOUT.
2. REFER TO ENGINEERS DRAWINGS FOR STRUCTURAL INFORMATION.
3. CONFIRM ANY SETOUT AMBIGUITIES WITH ARCHITECT PRIOR TO CONSTRUCTION.

1 Common Room - Slab Plan
1 : 100

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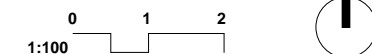
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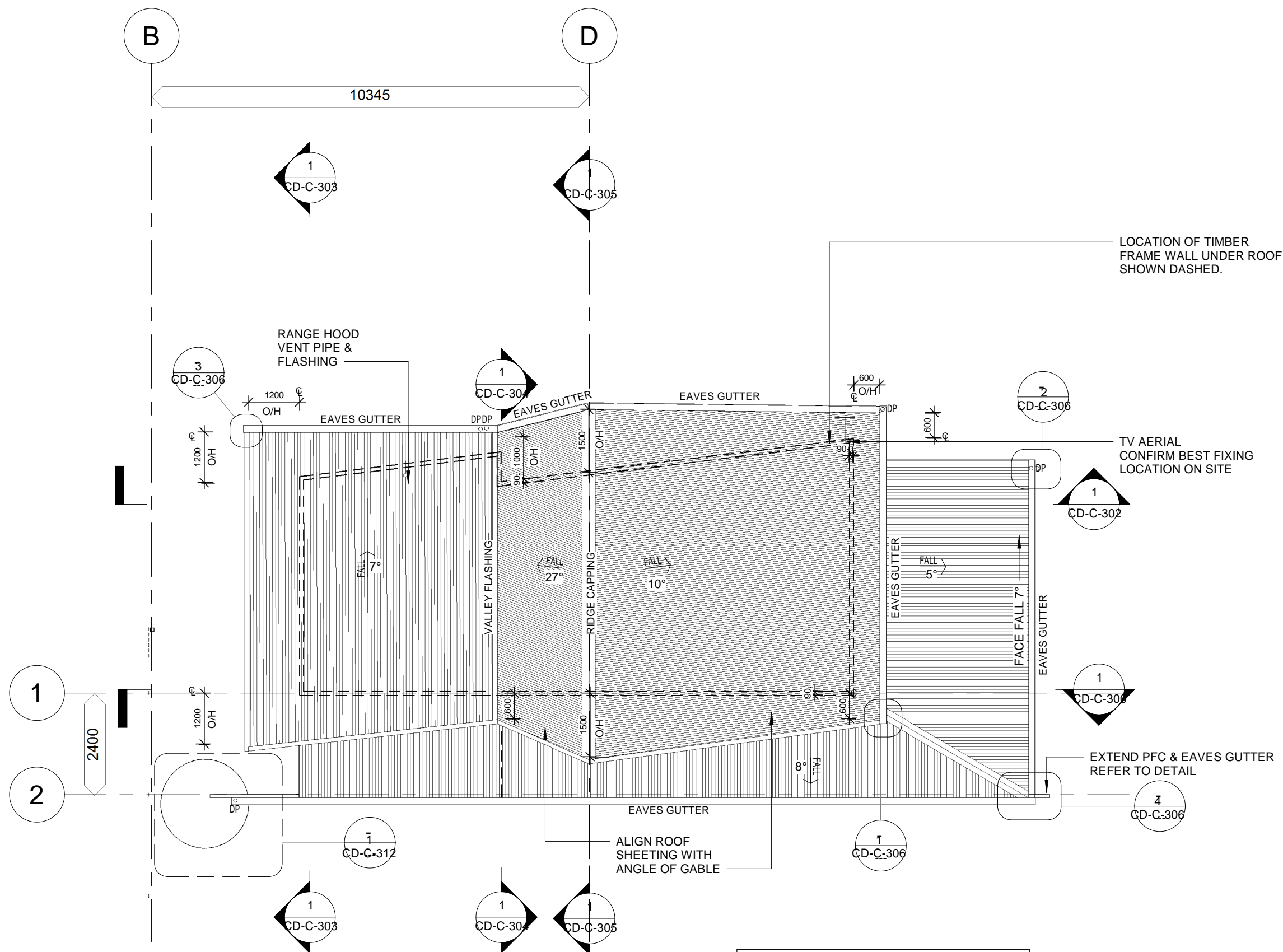
Common Room - Roof Plan

DWG NO.

CD-C-103

ISSUE

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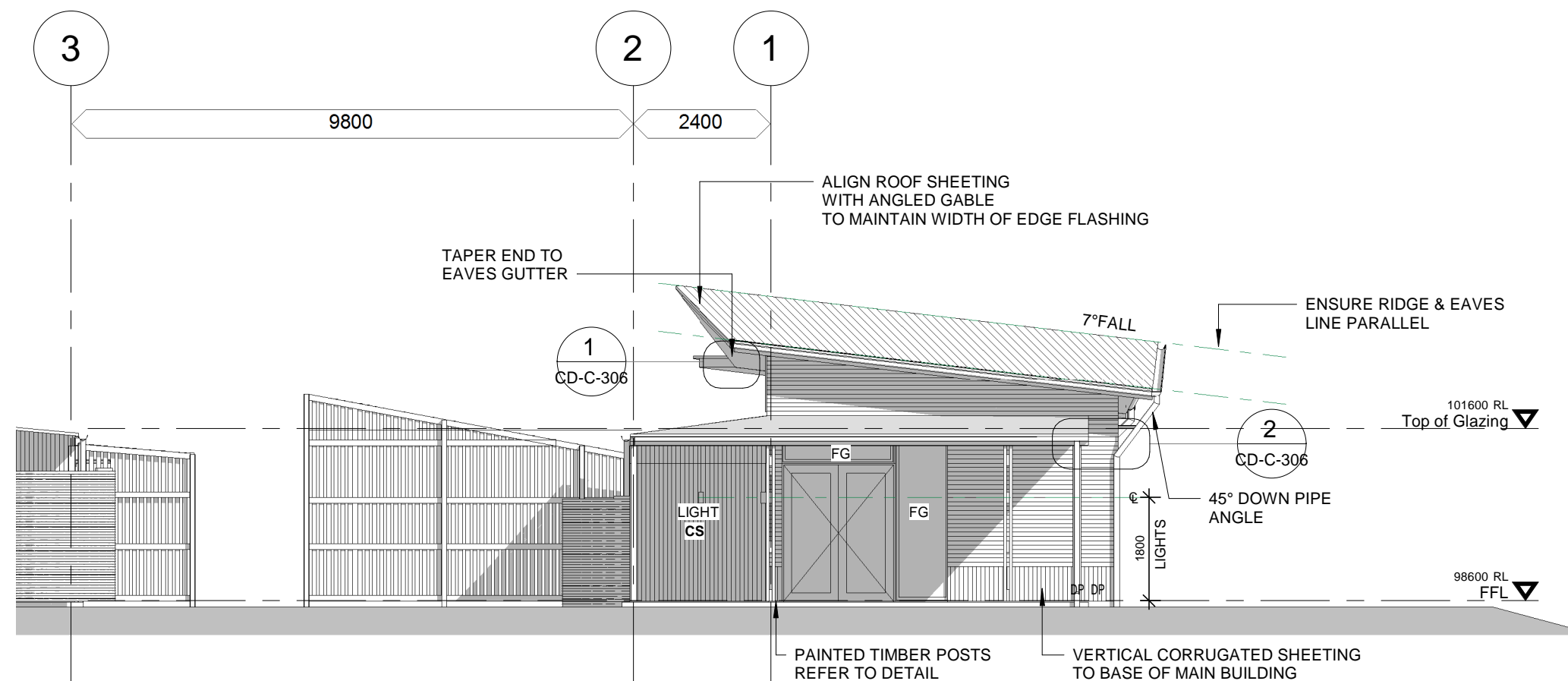
ROOF OVERHANG NOTES:

1. TAPER ALL EAVES GUTTER ENDS REFER TO DETAILS.
2. REFER TO DETAILS FOR PFC O/H LENGTHS.

1 Common Room - Roof Plan
1 : 100

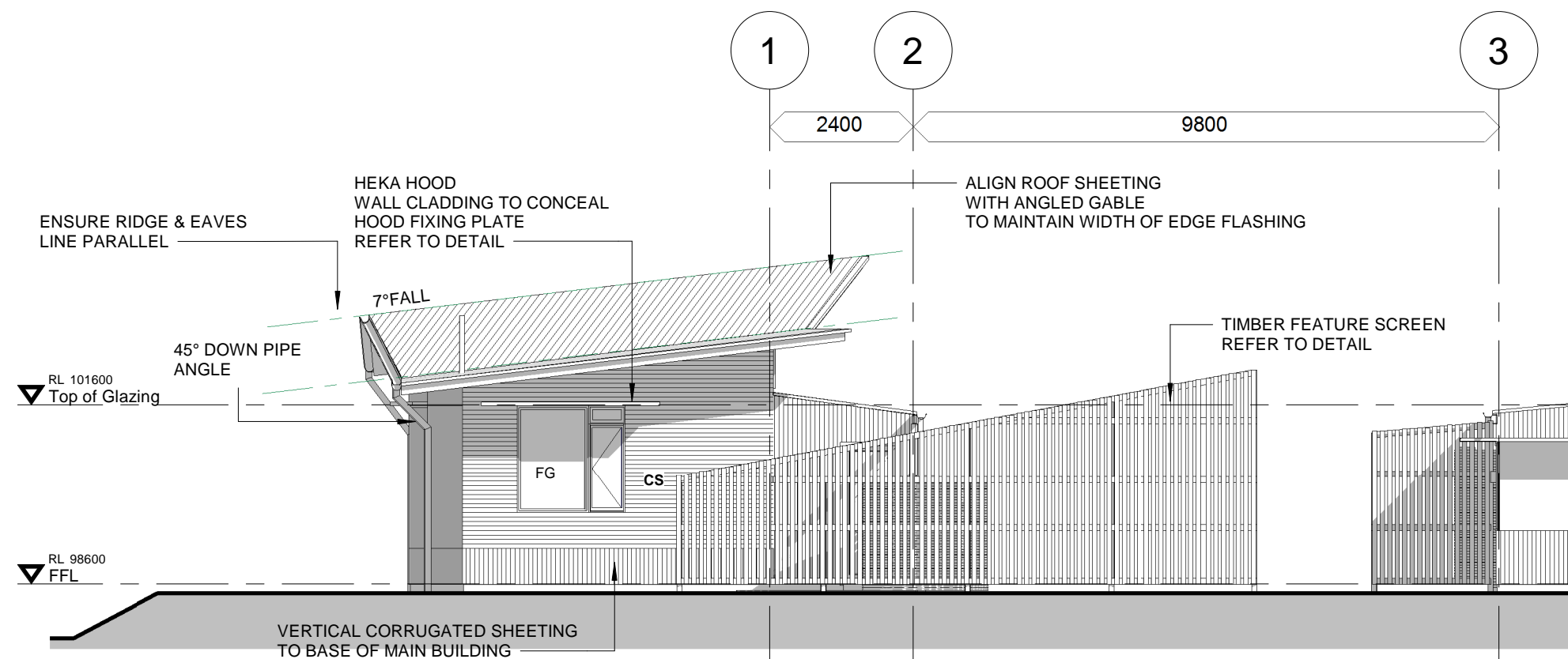
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1 Common Room - East Elevation

1 : 100



2 Common Room - West Elevation

1 : 100

NOTE:
1. TAPER ALL EAVES GUTTER ENDS
REFER TO DETAIL

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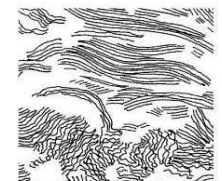
Common Room - Elevations East & West

DWG NO.

CD-C-200

ISSUE

D



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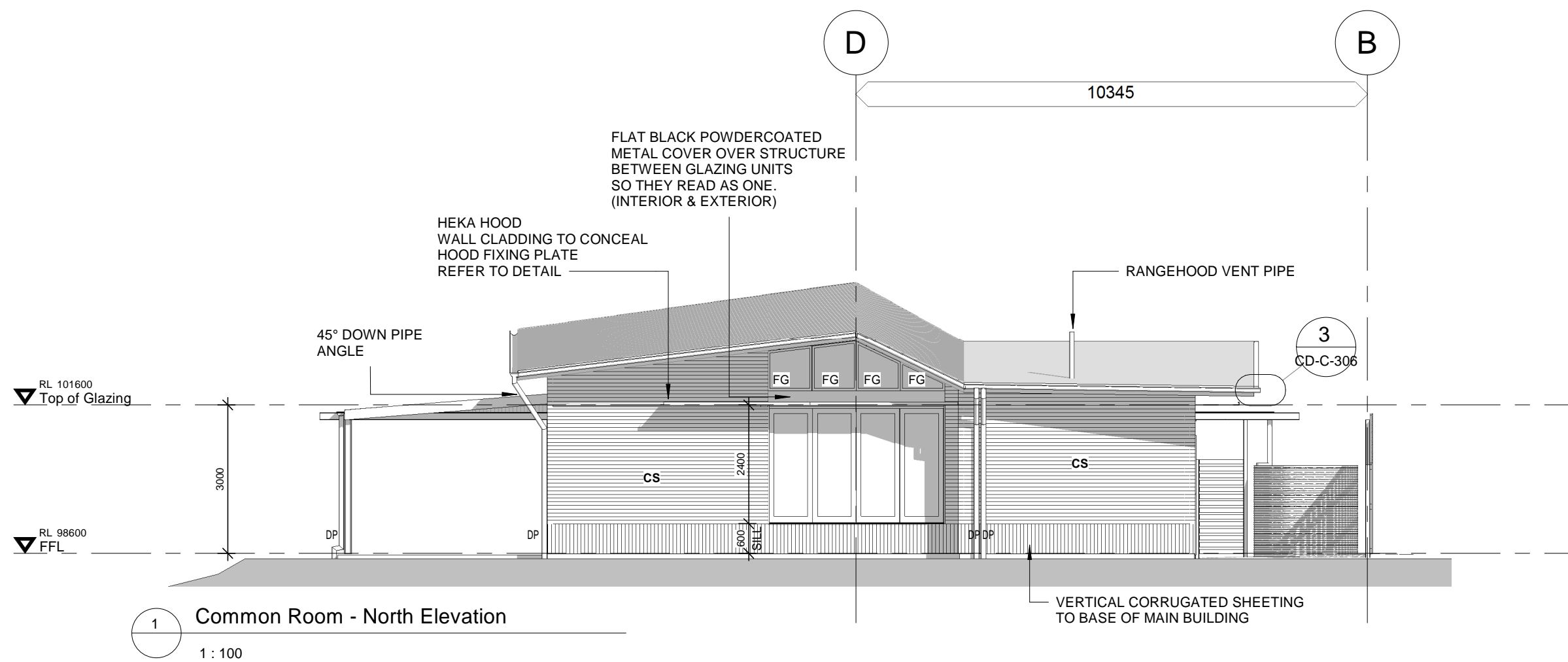
**Common Room -
Elevations North &
South**

DWG NO.

CD-C-201

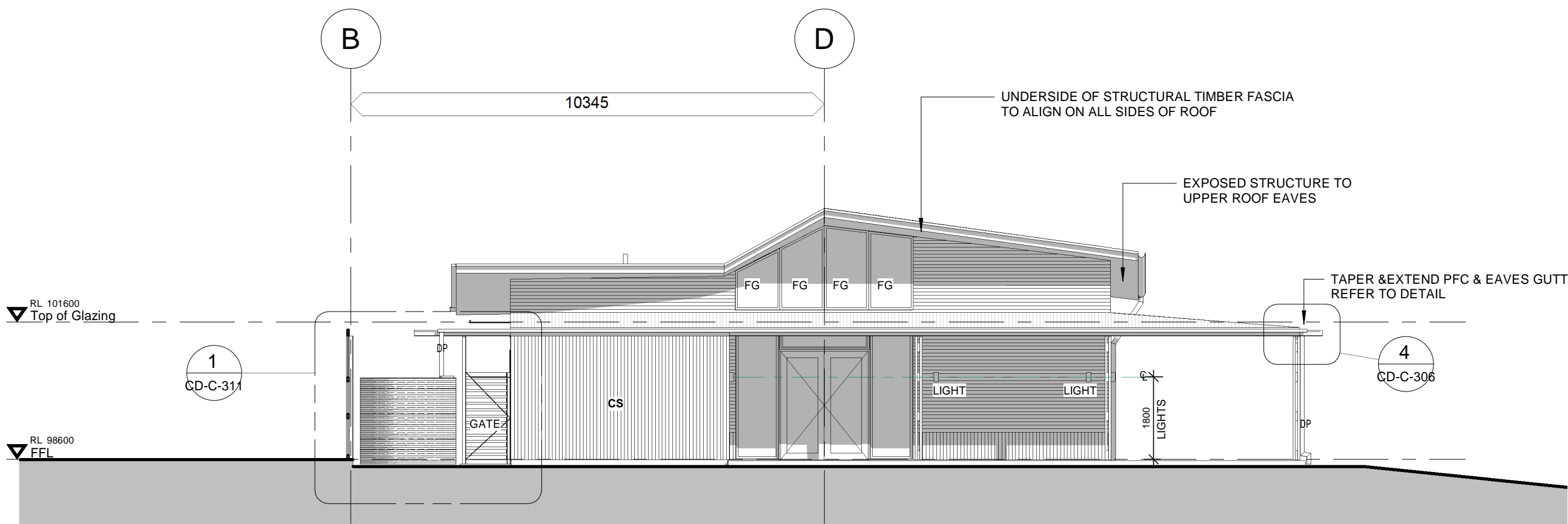
ISSUE

D



1 Common Room - North Elevation

1 : 100

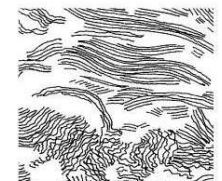


2 Common Room - South Elevation

1 : 100

NOTE:

1. TAPER ALL EAVES GUTTER ENDS REFER TO DETAIL



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D	30.10.2020	CONSTRUCTION
C	13.05.20	TIMBER FRAME
B	09.05.19	TENDER REVISION
A	01.04.19	TENDER

ISSUE	DATE	DESCRIPTION
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Gwydir Shire Council

PROJECT NO.

1122

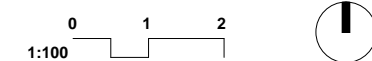
PROJECT NAME

Wellness & Interpretive Centre

PLOT DATE: 30/10/20

DRAWN BY : AS CHECKED BY : SS

SCALE @ A3 : 1 : 100



APPROX

ISSUE

CONSTRUCTION

TITLE

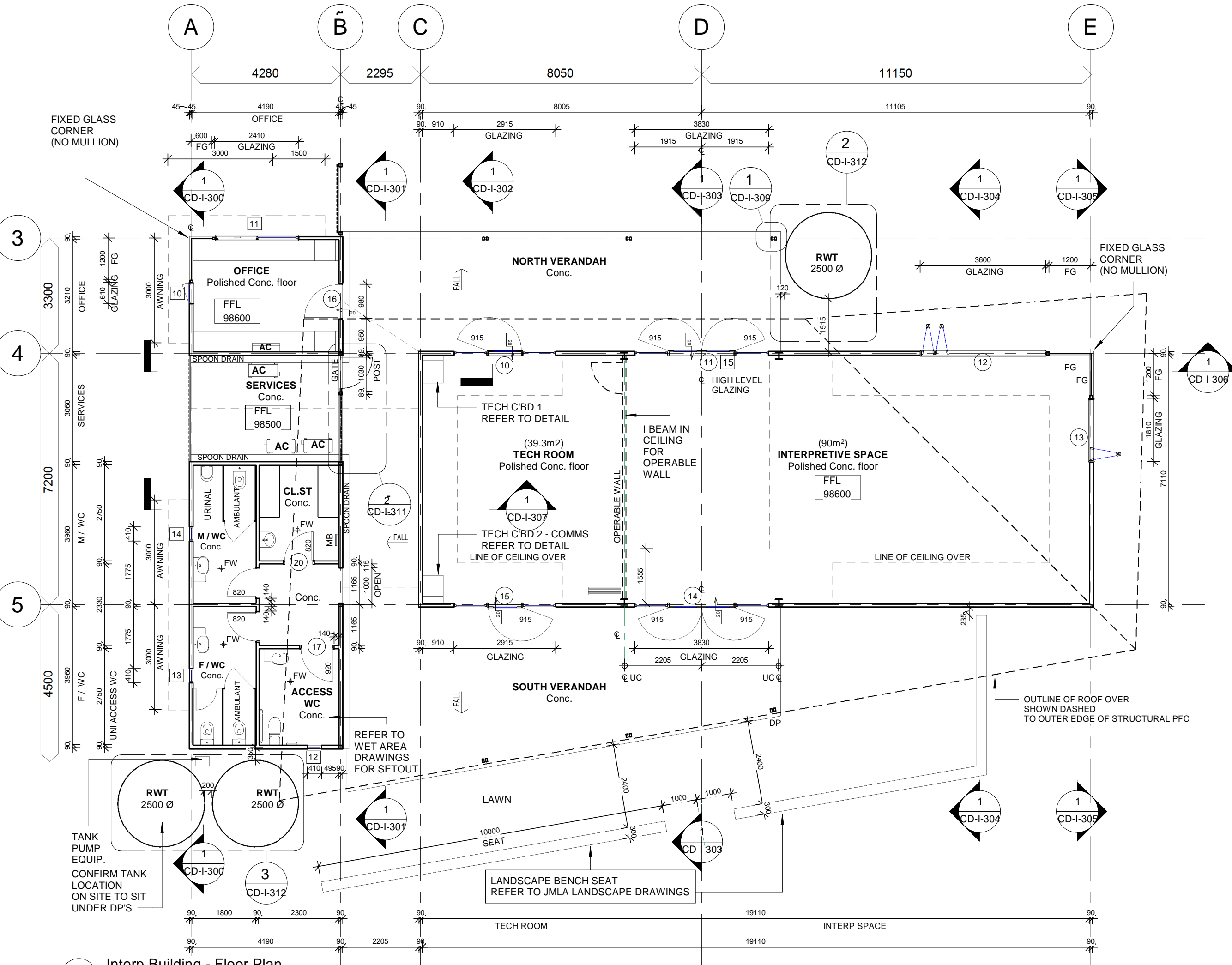
Interp Building - Floor Plan

DWG NO.

CD-I-100

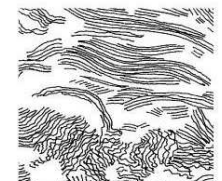
ISSUE

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1 Interp Building - Floor Plan

1 : 100



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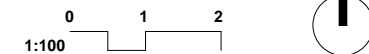
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SCALE @ A3 : 1 : 100



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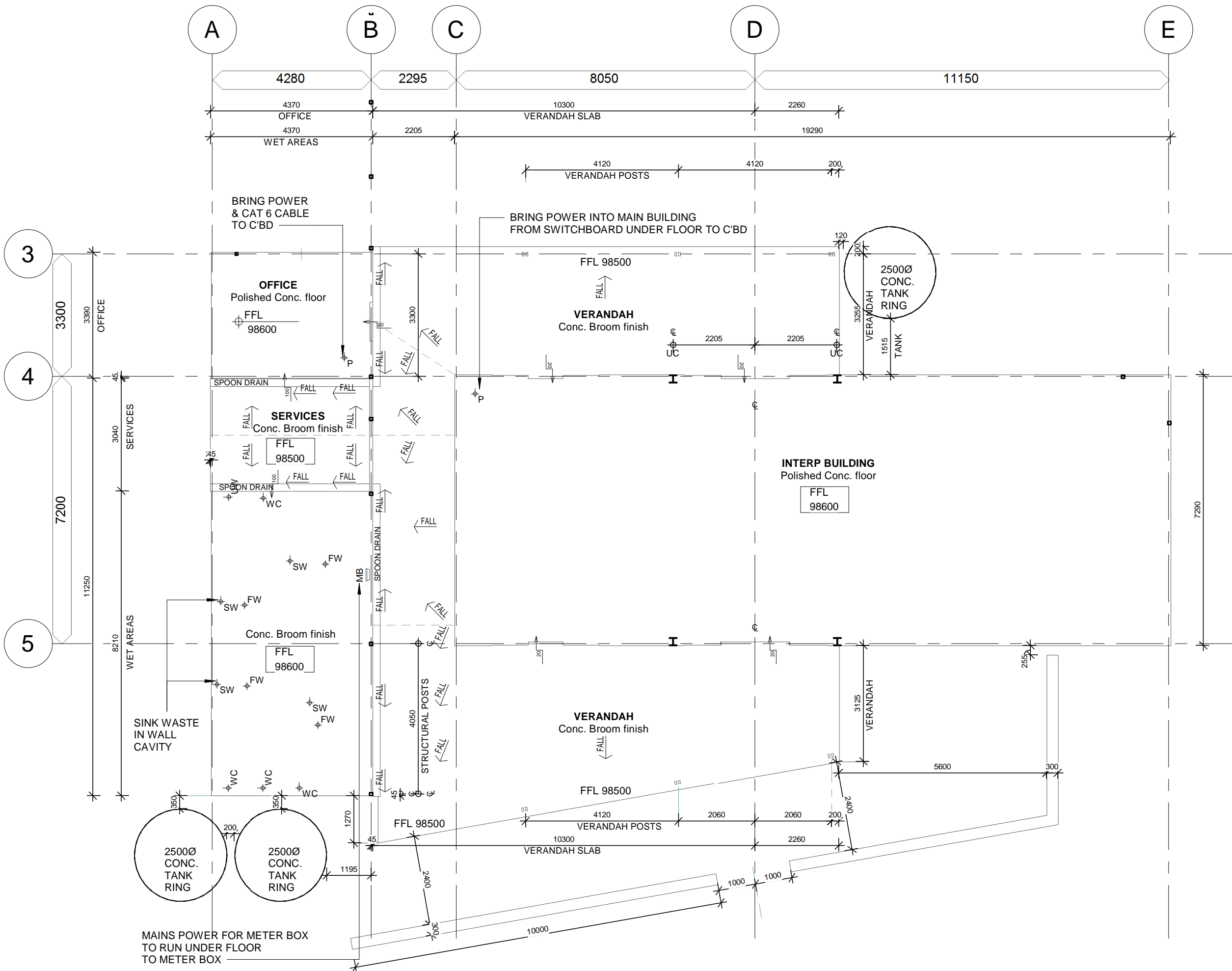
Interp Building - Slab Plan

DWG NO.

CD-I-101

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1 Interp Building - Slab Plan

1 : 100

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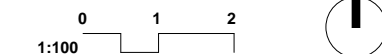
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SCALE @ A3 : 1 : 100



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CONSTRUCTION

TITLE

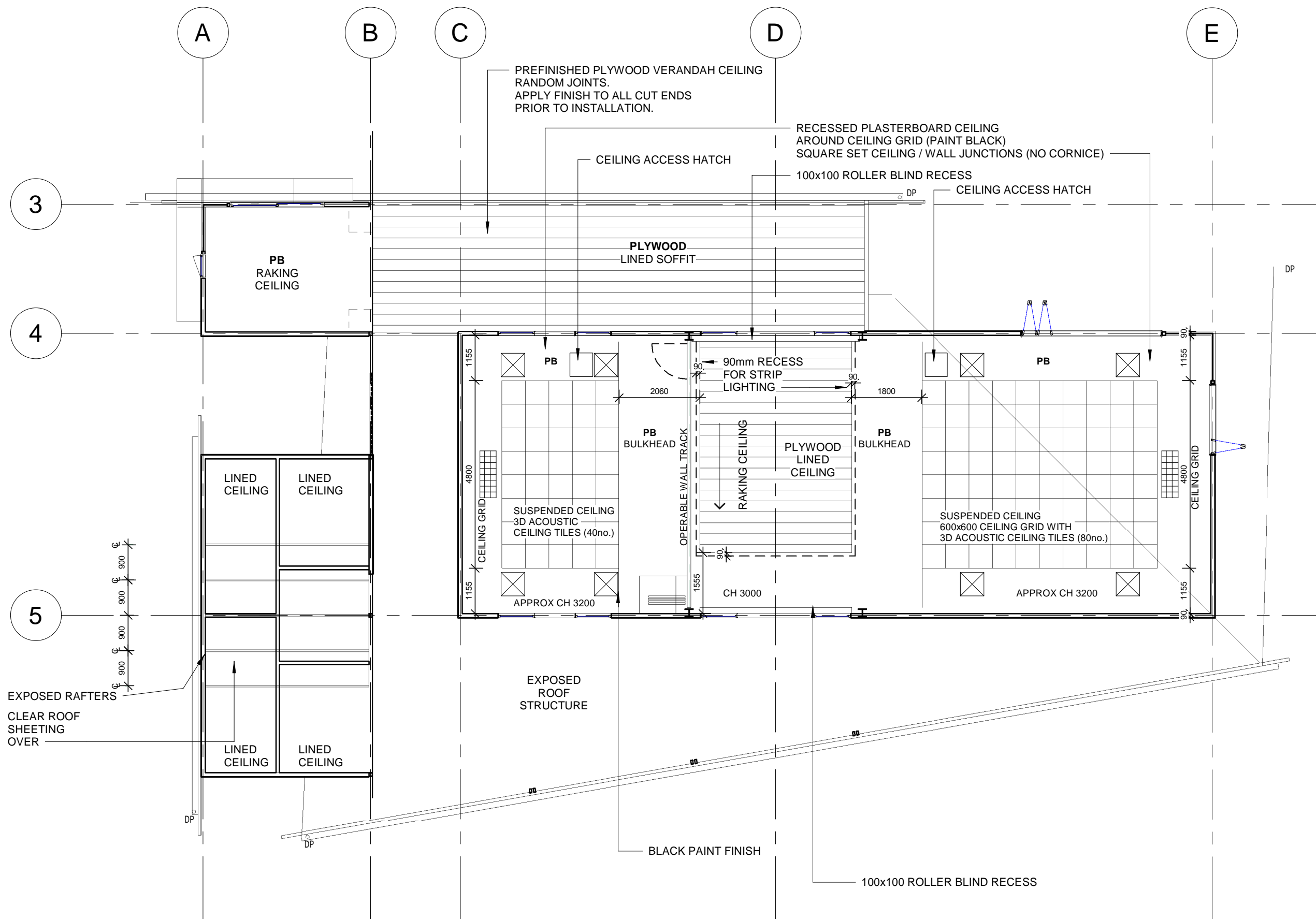
**Interp Building -
Reflected Ceiling Plan**

DWG NO.

CD-I-102

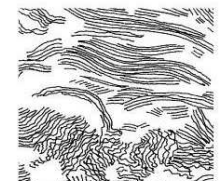
ISSUE

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- NOTES:**
1. REFER TO ELECTRICAL PLAN FOR LIGHTING
 2. AIR CONDITIONING VENT LOCATIONS INDICATIVE.
AIR CONDITIONING CONTRACTOR TO CONFIRM LOCATIONS.
 3. A / C VENTS ON RECESSED CEILING TO BE BLACK TO MATCH CEILING.

1 Interp Building - Reflected Ceiling Plan
1 : 100



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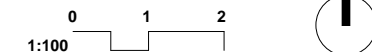
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SCALE @ A3 : 1 : 100



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TITLE

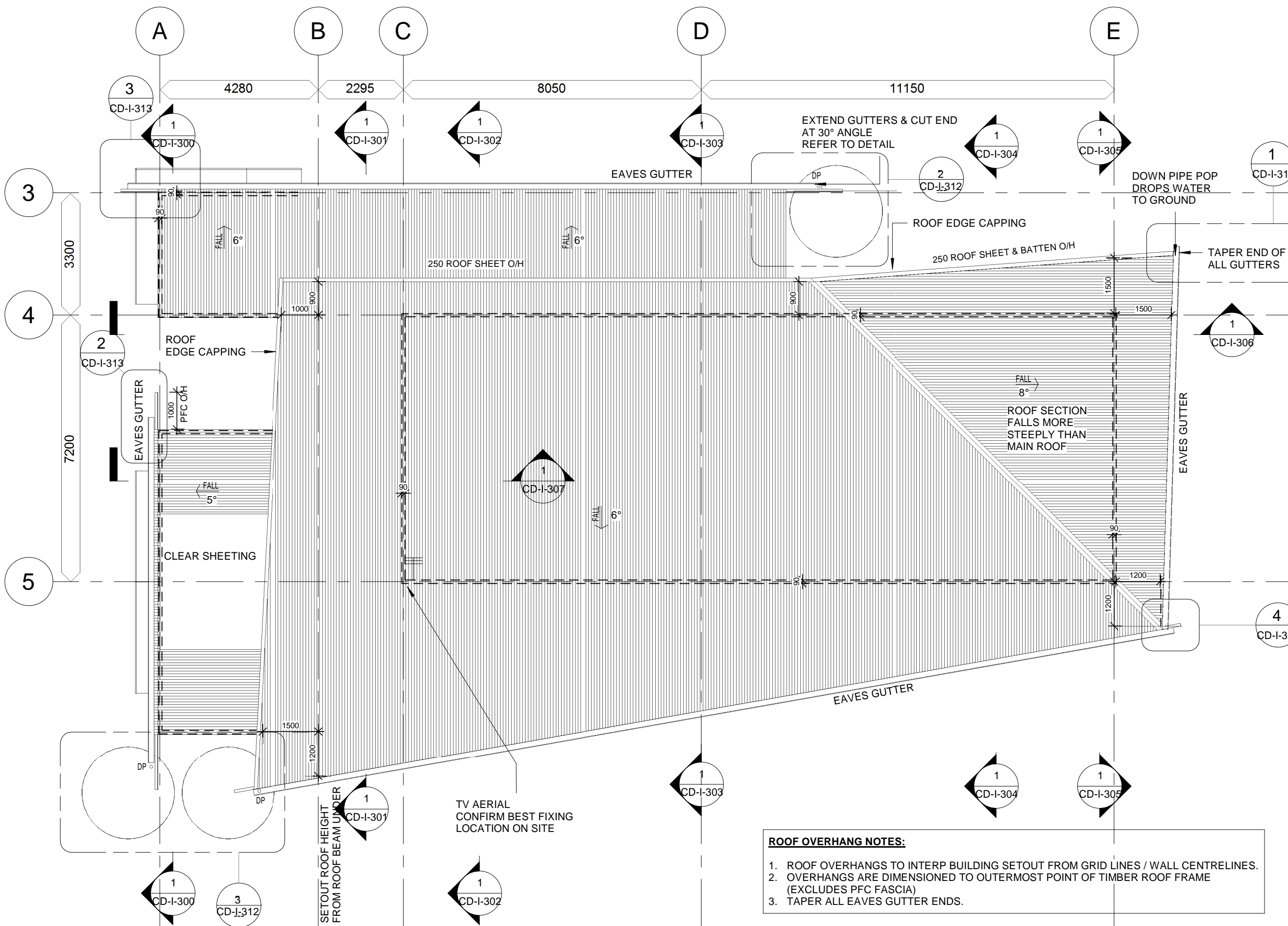
Interp Building - Roof Plan

DWG NO.

CD-I-103

ISSUE

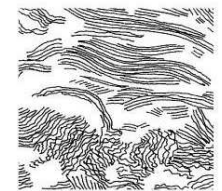
D



ROOF OVERHANG NOTES:

1. ROOF OVERHANGS TO INTERP BUILDING SETOUT FROM GRID LINES / WALL CENTRELINES.
2. OVERHANGS ARE DIMENSIONED TO OUTERMOST POINT OF TIMBER ROOF FRAME (EXCLUDES PFC FASCIA)
3. TAPER ALL EAVES GUTTER ENDS.

1 Interp Building - Roof Plan
1 : 100



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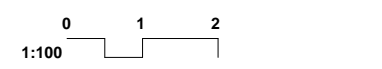
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PLOT DATE: 30/10/20

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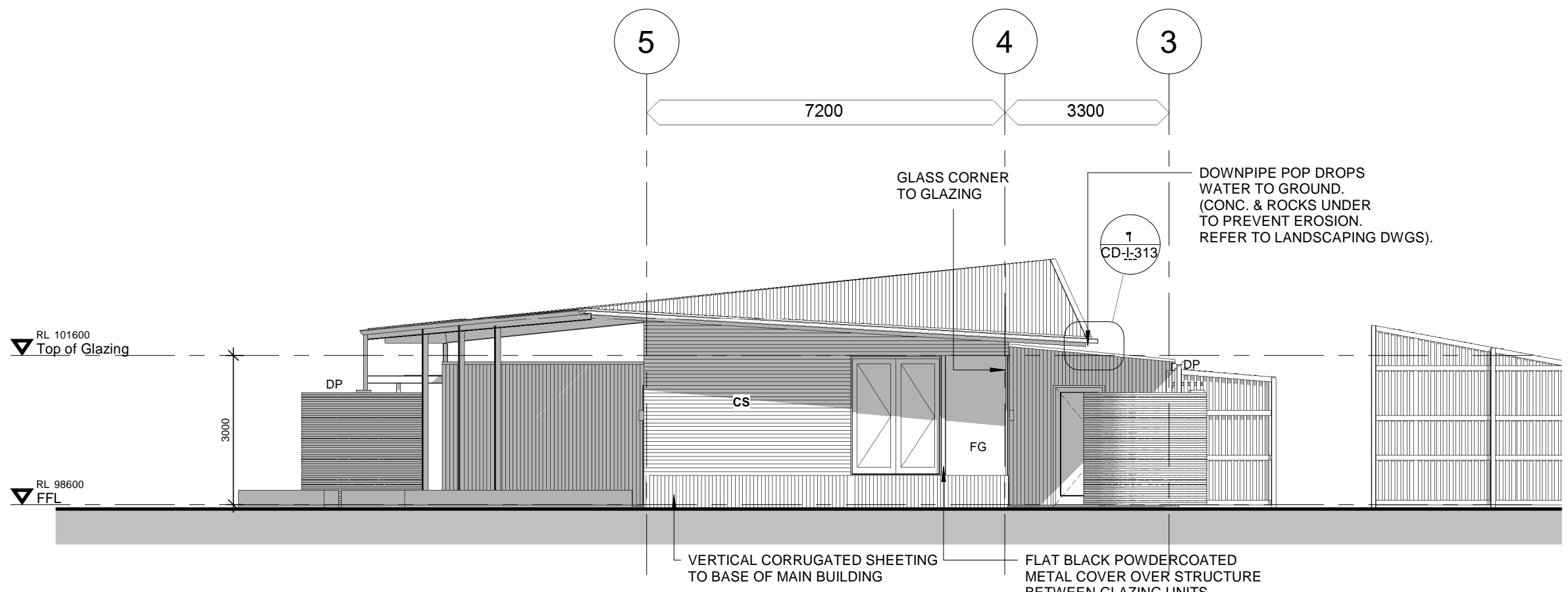


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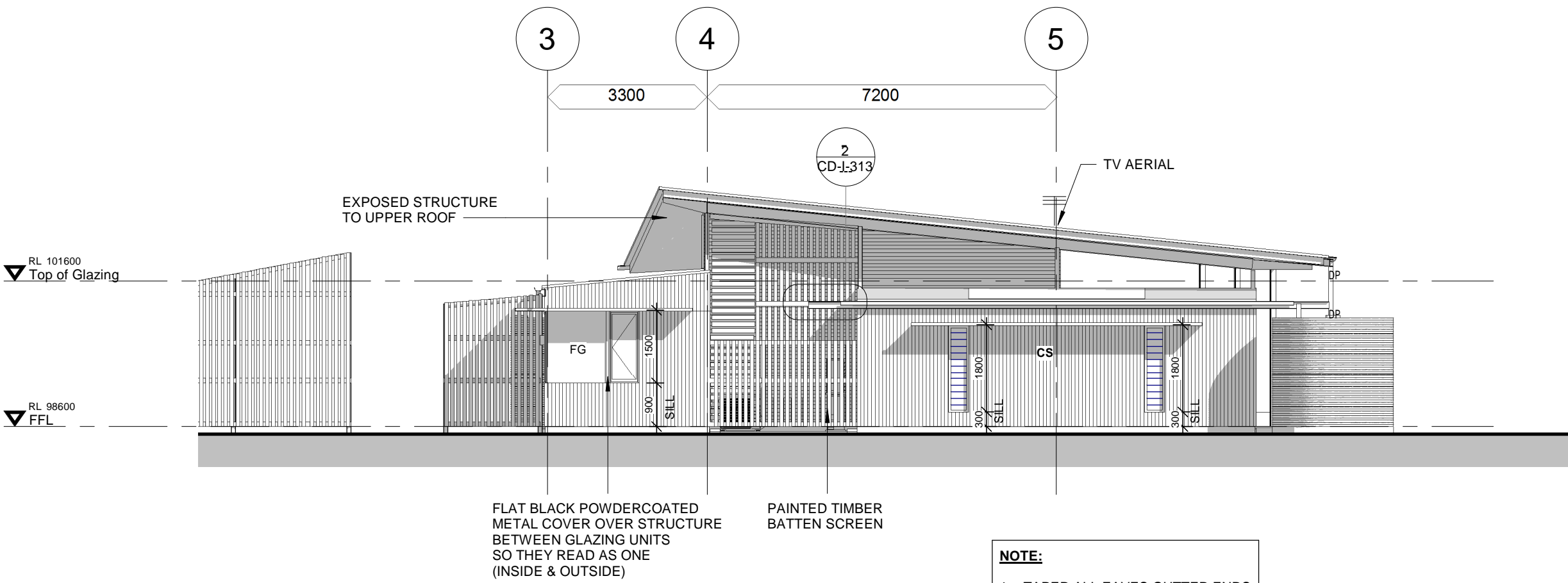
ISSUE
CONSTRUCTION

TITLE
Interp Building - Elevations E & W

DWG NO. **CD-I-200** ISSUE **D**

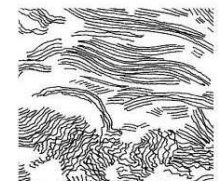


1 Interp Building - East Elevation
1 : 100



2 Interp Building - West Elevation
1 : 100

NOTE:
1. TAPER ALL EAVES GUTTER ENDS REFER TO DETAIL



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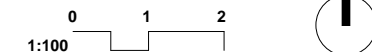
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TITLE

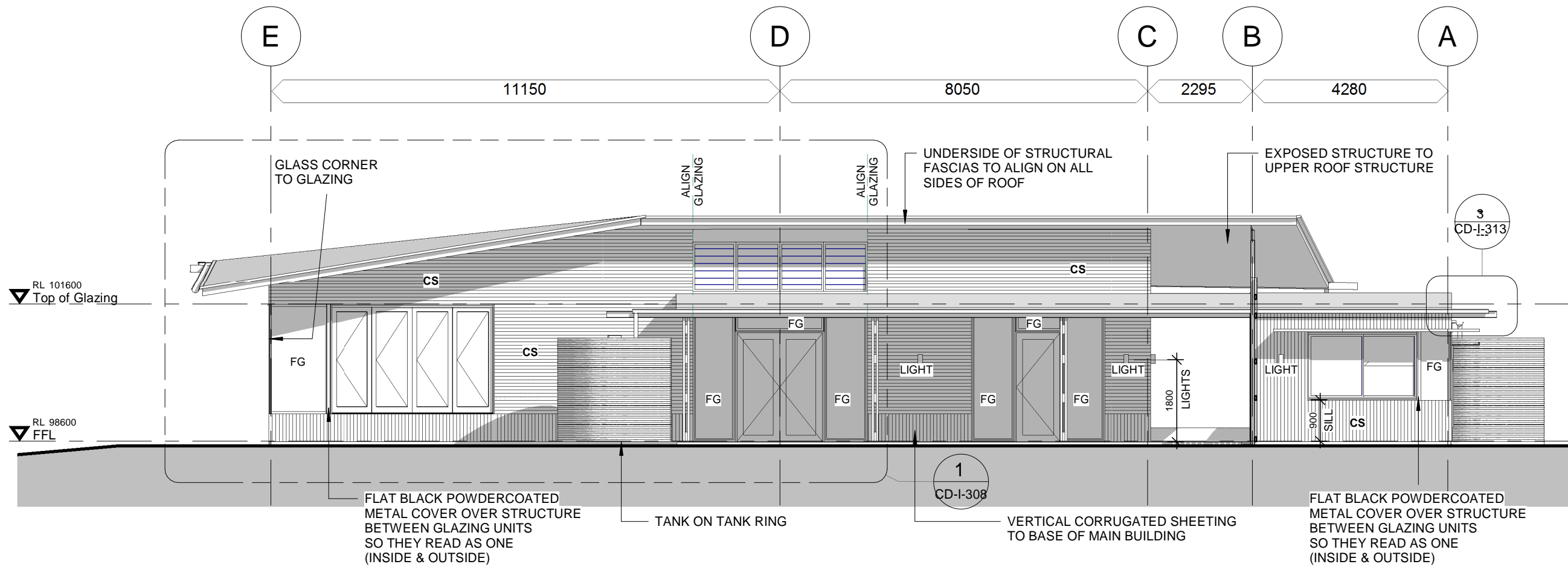
Interp Building - Elevations N & S

DWG NO.

CD-I-201

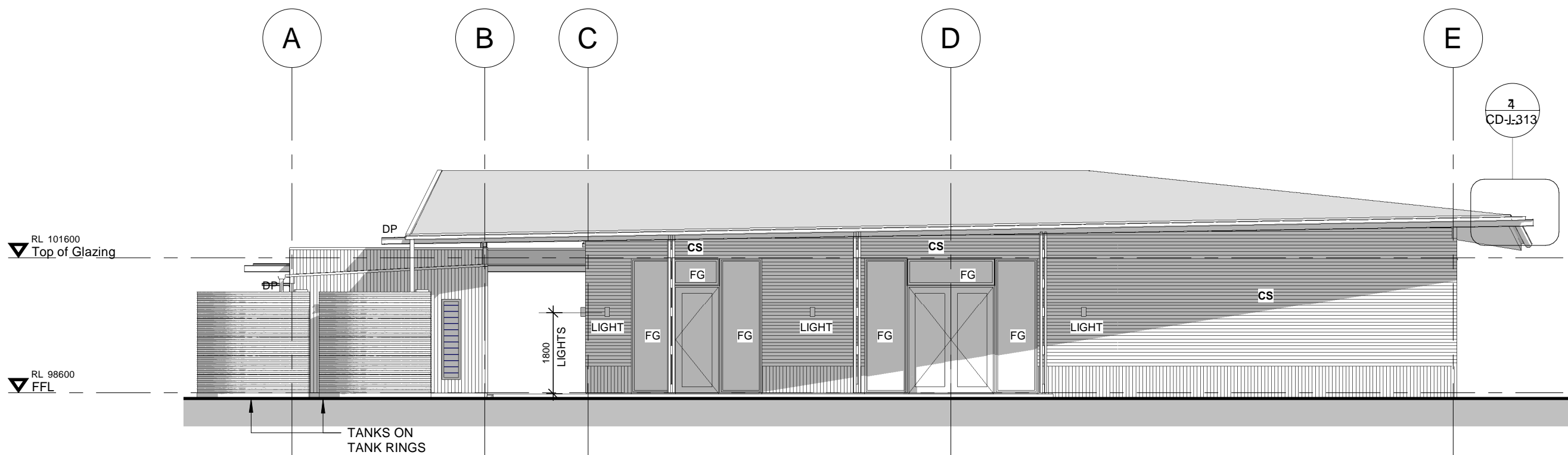
ISSUE

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1 Interp Building - North Elevation

1 : 100



2 Interp Building - South Elevation

1 : 100

NOTE:

1. TAPER ALL EAVES GUTTER ENDS REFER TO DETAIL