

Project: *Proposed – Residence*

Client: *Mr Stephen Kruse*

Address: *77 Riddell Street, Bingara, NSW, 2404*

Property: *Lot 26 /DP1239214*

Sheet List

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STATUTORY INFORMATION:

Building Classification: 1a  
Construction Type: C  
Fire Compartments: 1  
Storeys: 1  
Zoning: RU5: Village  
Climate Zone: 4

Wind Category: N2  
BAL Rating: LOW

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Issue	Description	Date
F	Issue for Engineering	11.03.2025
E	Preliminary Detailed	09.01.2025
D	Preliminary Concept and Site Adjustments	19.12.2024
C	Site Discovery Meeting	10.12.2024
B	Preliminary Concept	05.12.2024
A	Initial Design Meeting	28.11.2024

OWNER/S: .....  
BUILDER: .....  
DATE: .....



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Drawing Title

Cover Sheet

Project Name

Proposed - Residence

Client & Project Address

Mr Stephen Kruse  
77 Riddell Street, Bingara, NSW, 2404

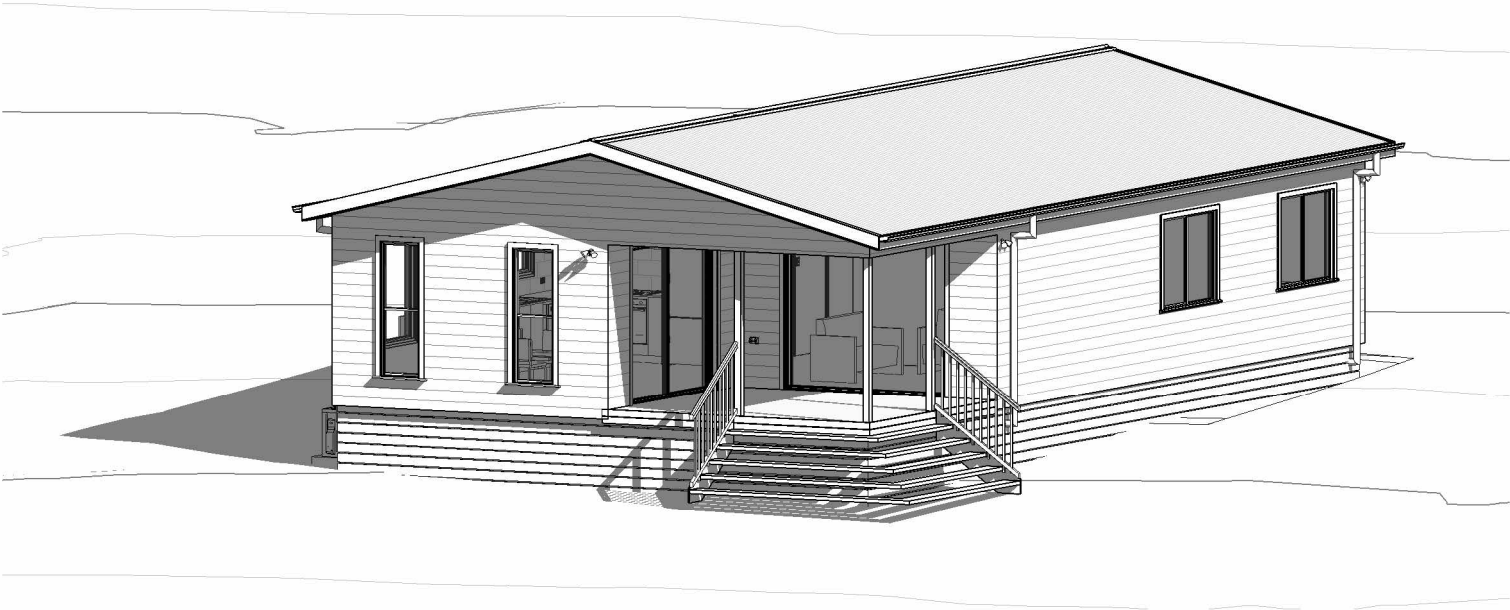
**Issue for Certification**

Property Description  
Lot 26 / DP1239214

Project #  
B597

Page #  
A.01

Issue  
F



Perspective  
FRONT



Perspective  
BACK

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Wind Category <div>N2</div>  BAL Rating <div>LOW</div>	Draftsperson <div>JV</div>  Scale	Q.B.C.C. Licenced Signatory				Drawing Title 3D's			
						Project Name Proposed - Residence			
						Client & Project Address Mr Stephen Kruse 77 Riddell Street, Bingara, NSW, 2404			
						Issue for Certification			
						Property Description Lot 26 / DP1239214	Project # B597	Page # A.02	Issue F



REAL PROPERTY DESCRIPTION

Lot: 26 On: DP1239214  
Parish: Bingara  
County: Murchison  
Lot / Site Area: 873.6 m²  
Local Government: Gwydir Shire Council

SERVICES - LEGEND

- Indicates water service line
- Indicates electrical service line
- Indicates sewer service line

NOTES

Real property information to be confirmed by licensed surveyor prior to construction.

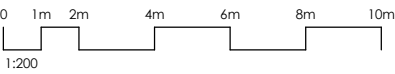
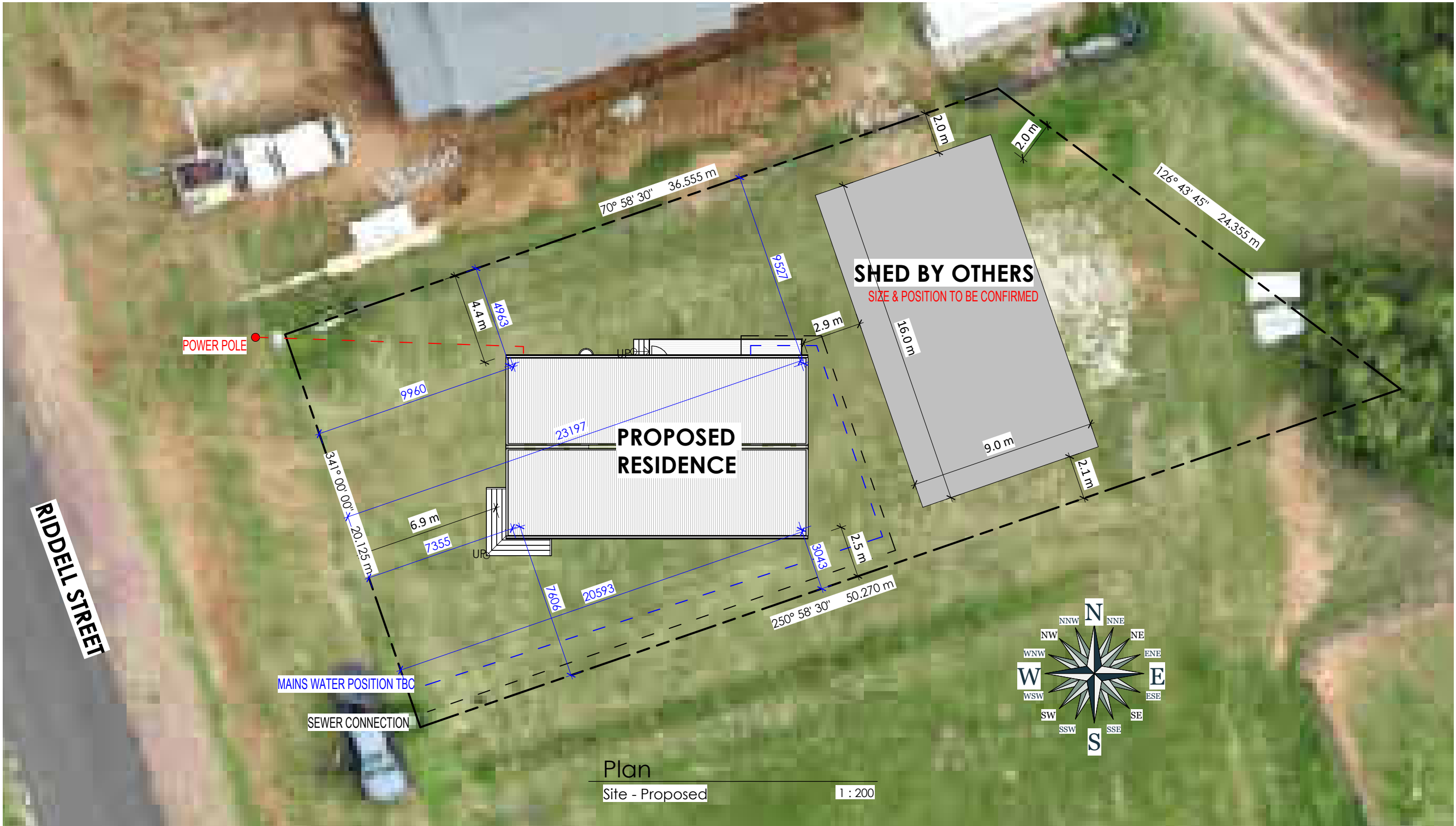
Property boundary bearings have been adjusted by our modelling software to be read working around the property boundary in either a clockwise or anti-clockwise direction; therefore, bearings noted may vary by exactly 180 deg from original survey information.

Property boundary bearings and distance have been sourced from Surveyors drawings / Real Property Plan.

Exact location of building to be confirmed on site prior to construction.

Location of all services to be confirmed on site prior to construction.

CLIENT RESPONSIBLE FOR PREPERATION OF LEVEL BUILDING PAD. NO GREATER THAN 250mm FALL OVER BUILDING FOOTPRINT UNLESS OTHERWISE NOTED ON ELEVATIONS.



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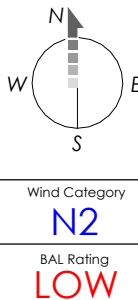
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Scale	As indicated

Drawing Title	Site Plan
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Property Description	Lot 26 / DP1239214
Project #	B597
Page #	A.03
Issue	F

ABBREVIATION LEGEND

ALUMINIUM DOORS

ABFD - BI-FOLD  
ASD - SLIDING  
AST - STACKER  
**TIMBER DOORS**  
BARN - BARN  
CS - CAVITY SLIDER  
PV - PIVOT  
SR - SMART ROBE

ALUMINIUM WINDOWS

AAW - AWNING  
ACA - CASEMENT  
ADW - DOUBLE-HUNG  
AFG - FIXED GLASS  
ALW - LOUVRE  
ASW - SLIDING

GENERAL

ADJ - ADJUSTABLE SHELVES  
BR - BROOM CUPBOARD  
BH - BULKHEAD  
CT - COOKTOP  
DW - DISHWASHER  
DP - DOWNPIPE  
DRS - DRAWERS  
DRY - DRYER  
HC - EXTERNAL HOSE COCK  
HWS - HOT WATER SYSTEM  
LT - LAUNDRY TUB  
OV - OVEN  
OHC - OVER HEAD CUPBOARD  
REF - REFRIGERATOR  
SH - SHELVES  
SHR - SHOWER  
WM - WASHING MACHINE  
WC - WATER CLOSET  
WO - WALL OVEN

ELECTRICAL

ACU - AIRCONDITIONING UNIT  
CU - CONDENSOR UNIT  
ECB - ELECTRICAL CIRCUIT BREAKER  
EMB - ELECTRICAL METER BOX

WESTBUILT ORGANISING WATER SUPPLY  
MAINS WATER.  
APPROXIMATELY 40m

WESTBUILT ORGANISING POWER SUPPLY  
EXISTING POWER POLE TRENCHED UNDERGROUND  
APPROXIMATELY 20m

GENERAL TRADE NOTES:

- All plumbing fixtures and installations including pressure limiting devices, hot water systems and dual flush toilet suites to be WELS rated in accordance with AS/NZ 6400 - 2016 & AS 3500 - 2021, and in compliance with Part 4.1 of the Queensland and New South Wales Development Code.
- All wet areas are to be waterproofed in accordance with Part 10.2, Vol 2 of the NCC - 2022
- All glazing is to be installed in accordance with Part 8.3, Vol 2 of the NCC - 2022
- Stairways and ramp construction are to be installed in accordance with Part 11.2, Vol 2 of the NCC - 2022
- Stair treads - A surface or nosing strip with a non-slip classification in accordance with AS 4586.
- Barriers and handrails are to be installed to comply with Part 11.3, Vol 2 of the NCC - 2022

IMPORTANT PROJECT NOTES:

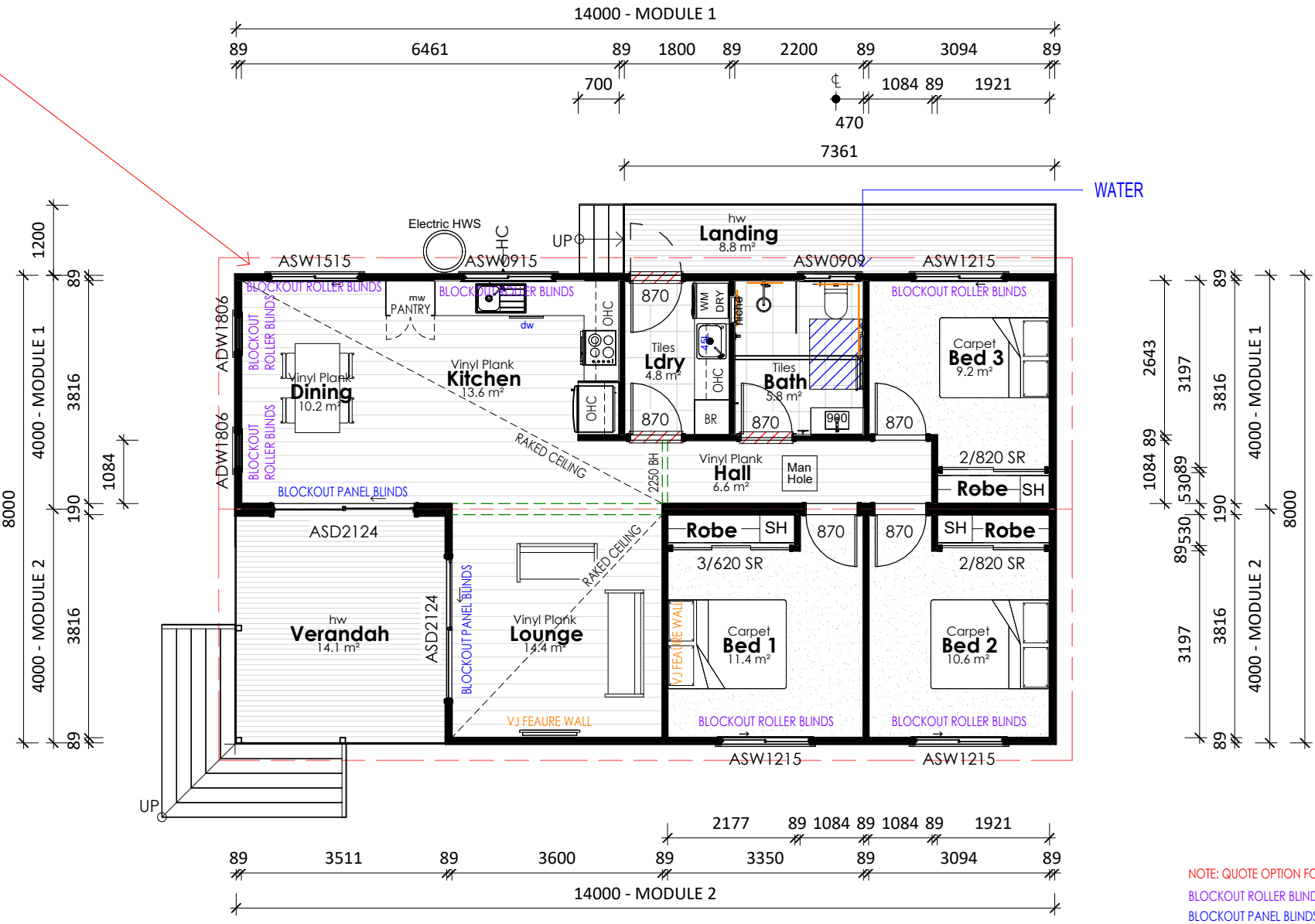
- ALL EXHAUSTS VENTED EXTERNALLY
- 315L ELECTRIC HOT WATER SYSTEM

FLOOR FRAMING SYMBOLS/LEGEND

- Squareset bulkhead
- Roof shape outline
- Noggins installed for future grabrails
- 1200mm X 900mm circulation space
- 5mm Maximum sill height
- Roof extenda bracket
- Internal load bearing post
- Downpipe

Gross Building Area

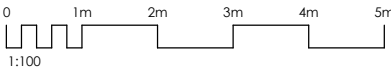
Name	Area (m²)	Squares (SQ)
GL.F.F.Level		
Landing	8.8 m²	0.95
Living Area	97.9 m²	10.54
Rear Deck	14.1 m²	1.51
	120.8 m²	13.01
Grand total	120.8 m²	13.01



Plan

Floor Plan

1 : 100



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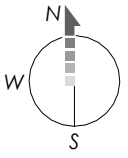
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Wind Category

N2

BAL Rating

LOW

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Drawing Title

Floor Plan

Project Name

Proposed - Residence

Client & Project Address

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**Issue for Certification**

Property Description

Lot 26 / DP1239214

Project #

B597









Page #









A.04

Issue

F

Electrical Fixture Schedule				
Image	Symbol	Type	Count	Comments
		Data point	1	
		Electrical distribution box	1	
		Electrical meter box	1	
		Fan Only 4 Blade	5	
		Fan Only 4 Blade	1	EXTERNAL
		GPO Double	22	
		GPO Double with light switch	1	
		GPO quad	1	
		GPO Weatherproof double	3	
		Light switch	8	
		Smoke Detector photoelectric	4	
		TV point	1	

Lighting Fixture Schedule				
Image	Symbol	Type	Count	Comments
		3 in 1 LED light, Exhaust Fan, Heat Globes	1	
		Downlight LED	30	
		Floodlight twin with sensor	5	
		Wall Light - Cylinder Style	3	

Air conditioning Schedule				
Symbol	Type	Room	kW	Comments
	AC Inside Unit	BED 1	2.5	HEAVY INDUSTRY
	AC external split unit	BED 1	2.5	HEAVY INDUSTRY
	AC Inside Unit	BED 2	2.5	HEAVY INDUSTRY
	AC external split unit	BED 2	2.5	HEAVY INDUSTRY
	AC Inside Unit	BED 3	2.5	HEAVY INDUSTRY
	AC external split unit	BED 3	2.5	HEAVY INDUSTRY
	AC Inside Unit	DINING	7	HEAVY INDUSTRY
	AC external split unit	DINING	7	HEAVY INDUSTRY

Issue

Description

Date

F

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Wind Category

N2

BAL Rating

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Draftsperson

JV

Scale

Drawing Title

Electrical Schedule

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B597

Page #

A.05a

Issue

F

Original sheet sizeA3 (297x420)

Plot date: 24/03/2025 2:29:54 PM

IMPORTANT NOTES: ELECTRICIAN

This proposed electrical and lighting plan is to be completed by building owner in collaboration with the builder using symbols provided.

The builder and electrical subcontractor must confirm the proposed meets the requirements of Part 13.7.6, Vol 2 of the NCC - 2022 in particular energy efficiency of artificial lighting - and consult with the building owner where changes may be required. The illumination power density of artificial lighting must not exceed the allowance of:

- A. 5W/m<sup>2</sup> in a Class 1 building; &
- B. W/m<sup>2</sup> on a verandah, balcony or the like attached to a Class 1 building; &
- C. 3W/m<sup>2</sup> in a Class 10a building associated with a Class 1 building.

The above allowances may vary for lighting with a control device as per Part 13.7.6.6 (b) (i) (ii) (iii), Vol 2 of the NCC - 2022.

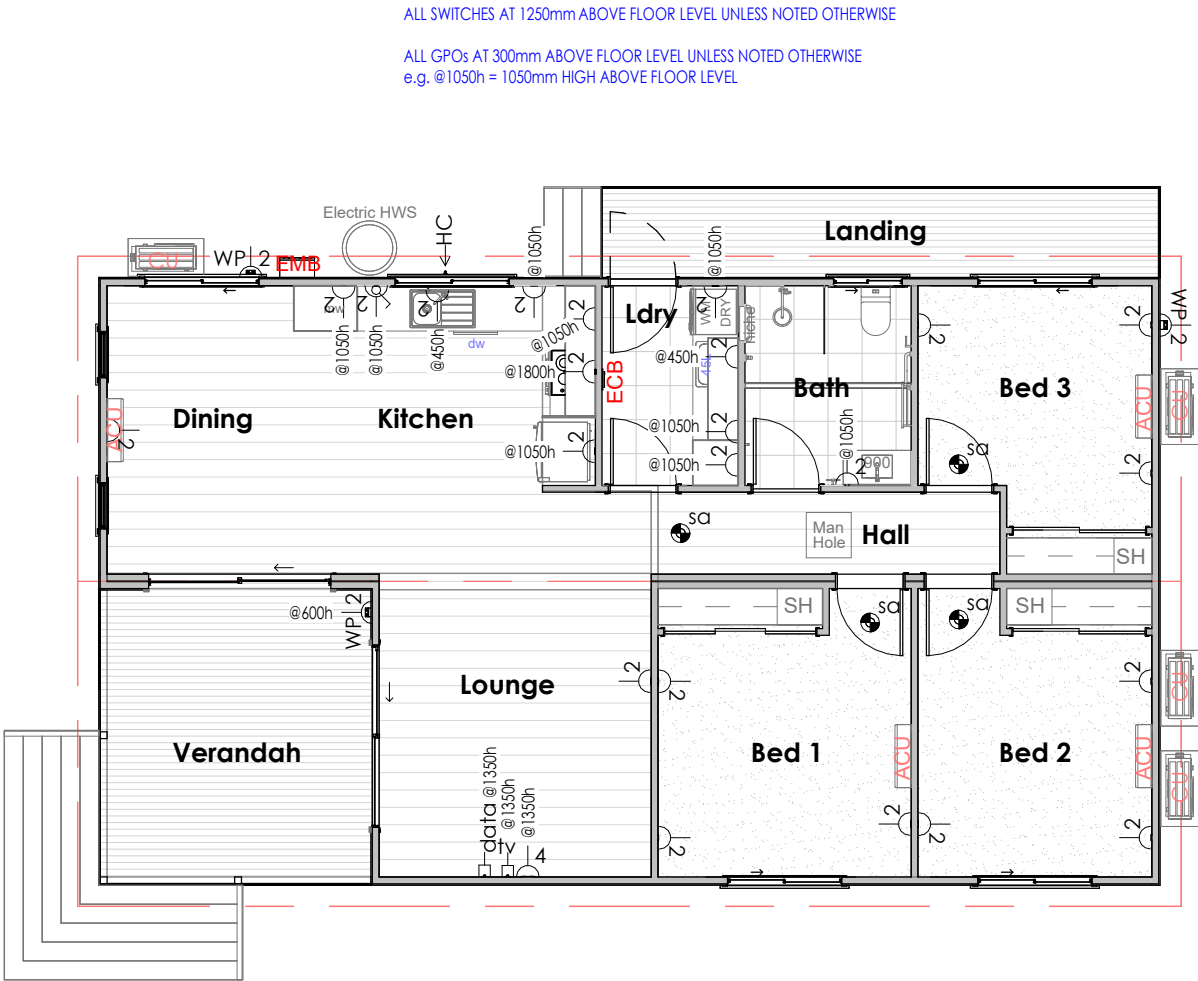
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- Shower rose and tapware - to be 3 Star WELS rated;
- Toilet suites - to be 4 Star WELS rated.

WESTBUILT ORGANISING WATER SUPPLY  
MAINS WATER.  
APPROXIMATELY 40m

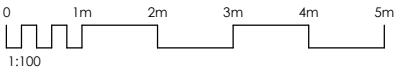
WESTBUILT ORGANISING POWER SUPPLY  
EXISTING POWER POLE TRENCHED UNDERGROUND  
APPROXIMATELY 20m



Plan

Electrical

1 : 100



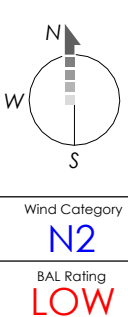
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	JV
Scale	1 : 100

Drawing Title	Electrical Plan
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Page #	A.05b
Issue	F



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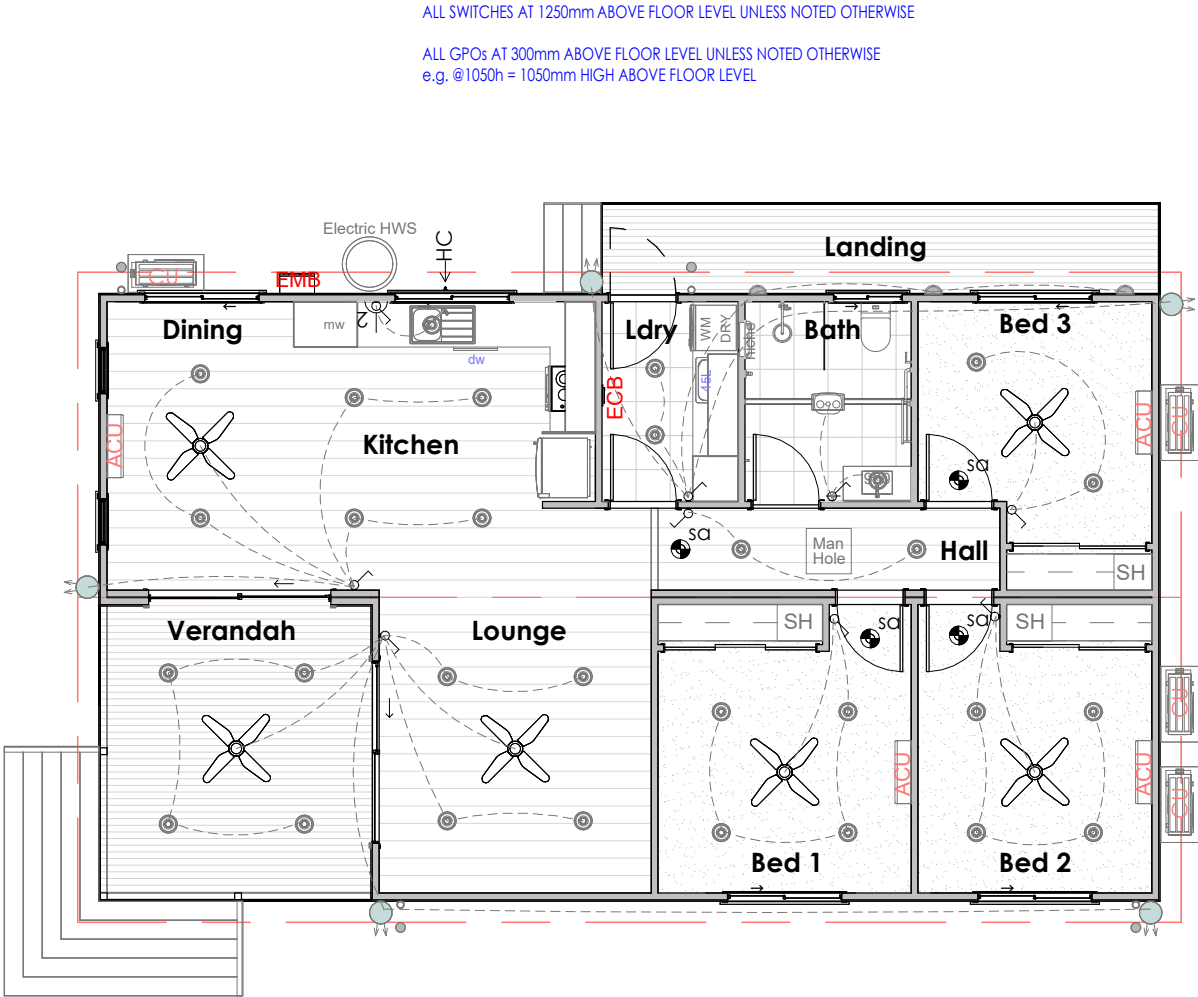
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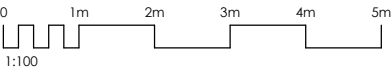
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Plan  
Ceiling & Lighting  
1 : 100

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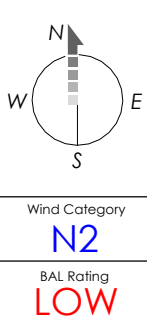
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BUILDER: .....  
DATE: .....



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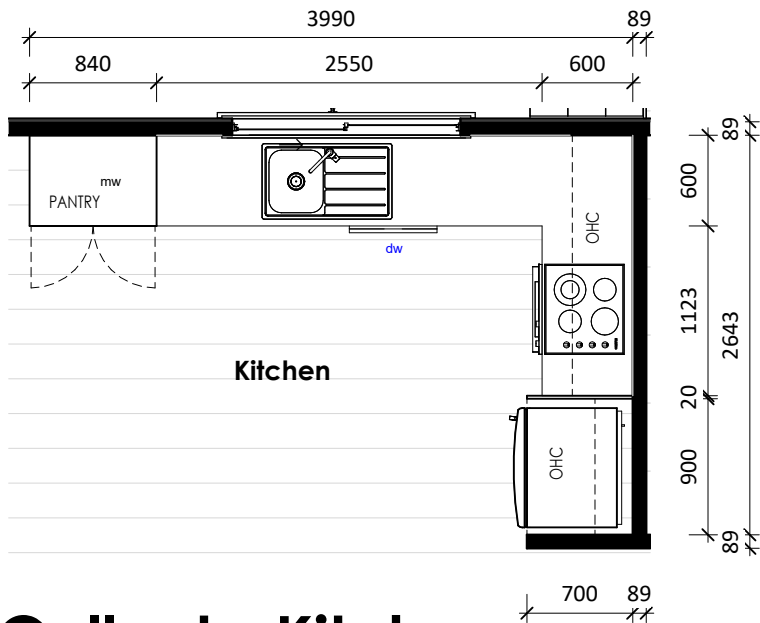
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Q.B.C.C. Licenced Signatory	Draftsperson
	JV
Scale	1 : 100

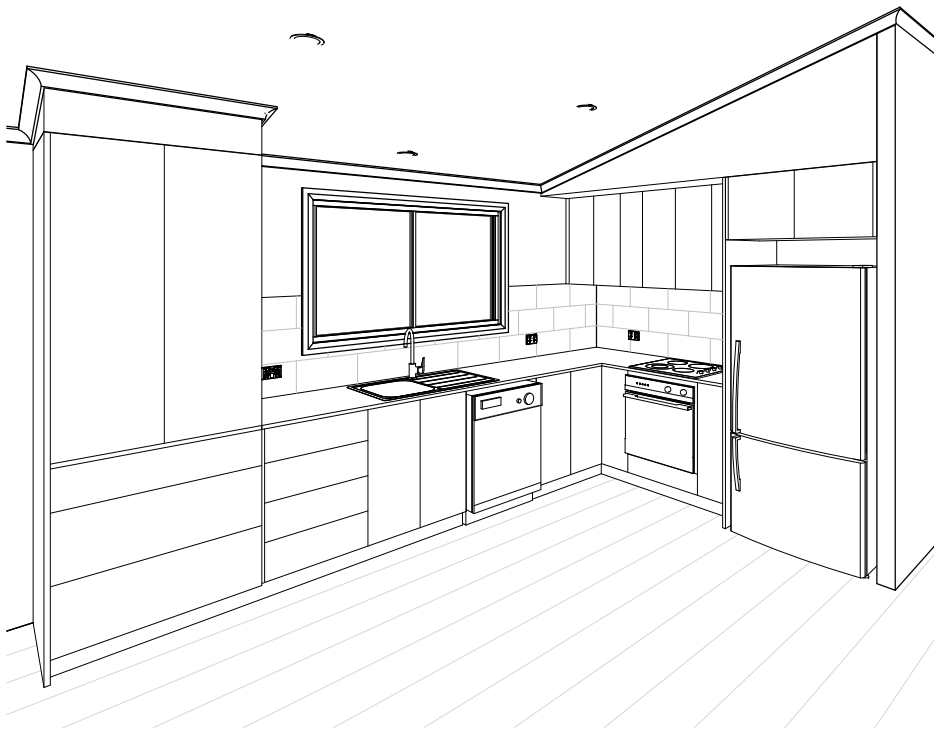
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Project Name	Proposed - Residence
Client & Project Address	Mr Stephen Kruse 77 Riddell Street, Bingara, NSW, 2404
Property Description	Lot 26 / DP1239214
Project #	B597
Page #	A.05c
Issue	F



## Callout - Kitchen

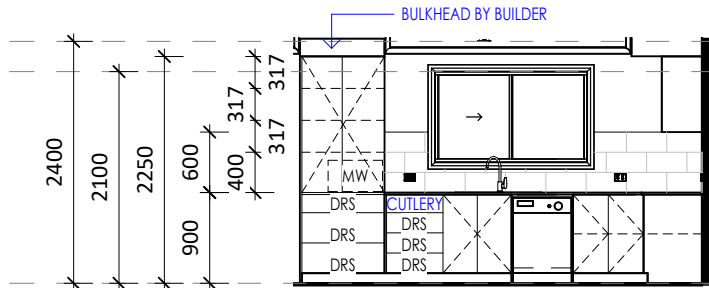
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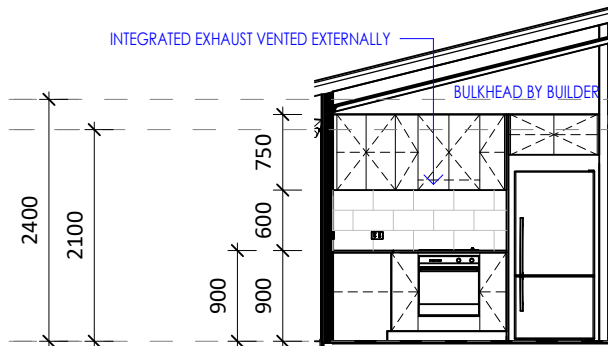
## Perspective

3D Kitchen View A



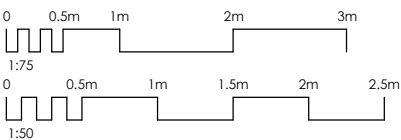
## Kitchen - 1

Scale 1 : 75



## Kitchen - 2

Scale 1 : 75



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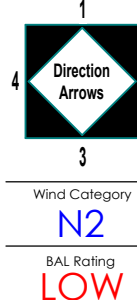
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Draftsperson  
JV  
Scale  
As indicated

Drawing Title

Room Layout - Kitchen

Project Name

Proposed - Residence

Client & Project Address

Mr Stephen Kruse  
77 Riddell Street, Bingara, NSW, 2404

**Issue for Certification**

Property Description

Lot 26 / DP1239214

Project #

B597

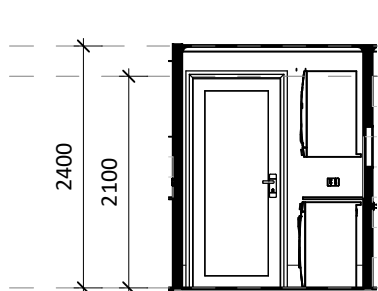
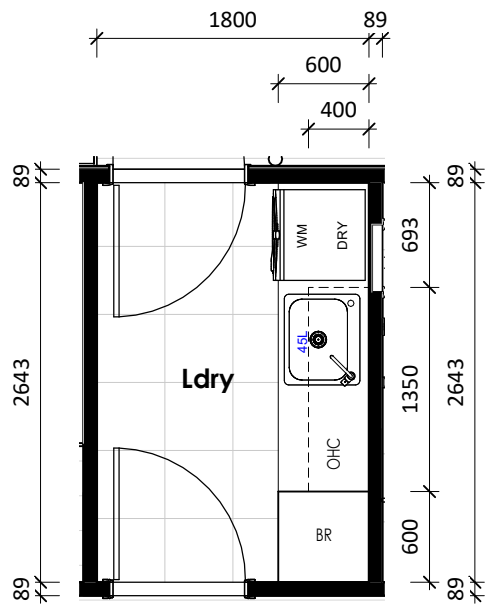
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A.06a

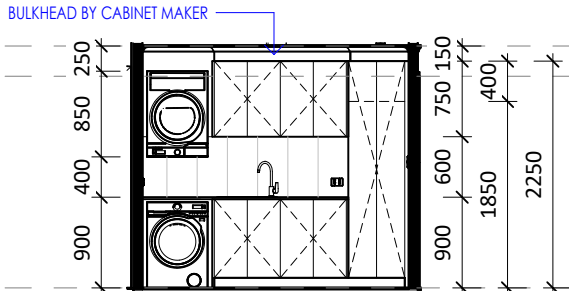
Issue

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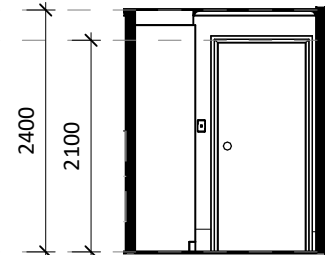




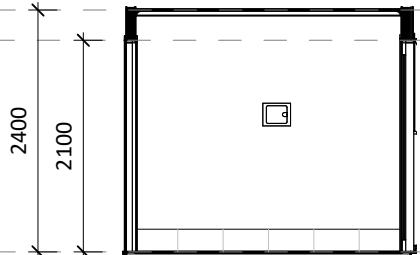
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Scale 1 : 75



Ldry - 2  
Scale 1 : 75



Ldry - 3  
Scale 1 : 75



Ldry - 4  
Scale 1 : 75

GL.F.C.Level

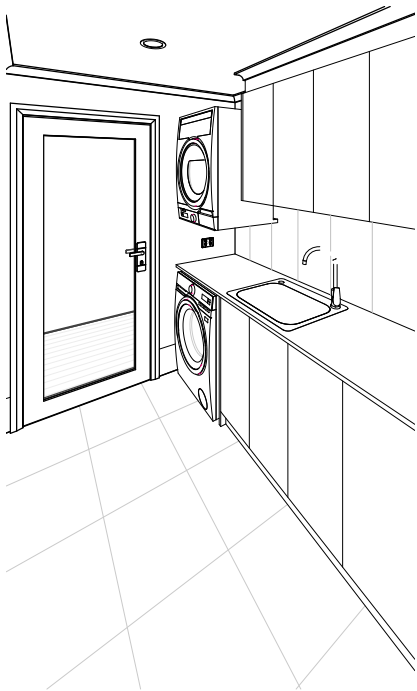
Windows

GL.F.F.Level

## Callout - Laundry

Scale 1 : 50

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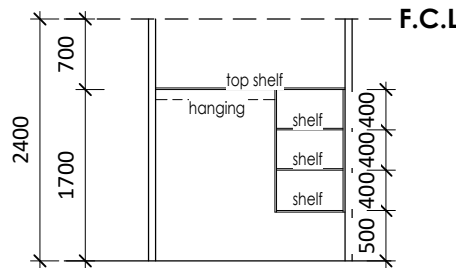
Perspective

3D Laundry View A



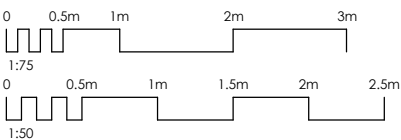
Perspective

3D Laundry View B



## Typical Robe Setup

Scale 1 : 75



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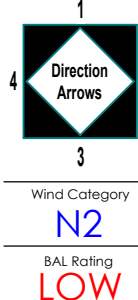
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Q.B.C.C. Licenced Signatory

Drawing Title

Room Layout - Laundry / Robes

Project Name

Proposed - Residence

Client & Project Address

Mr Stephen Kruse  
77 Riddell Street, Bingara, NSW, 2404

**Issue for Certification**

Property Description

Lot 26 / DP1239214

Project #

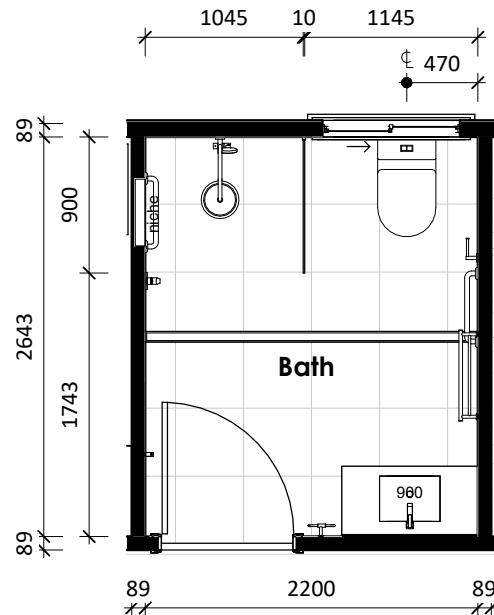
B597

Page #

A.06b

Issue

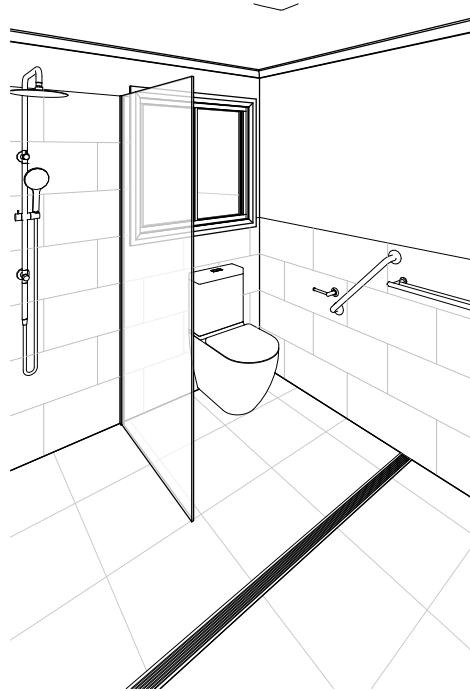
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## Callout - Bathroom

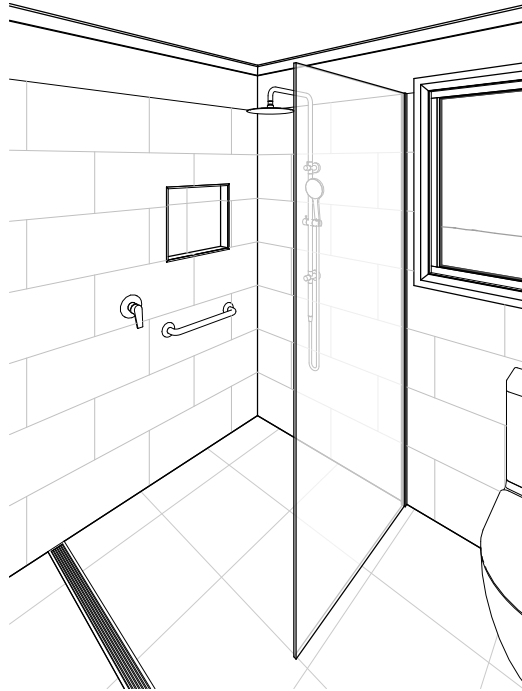
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### Perspective

3D Bathroom View A



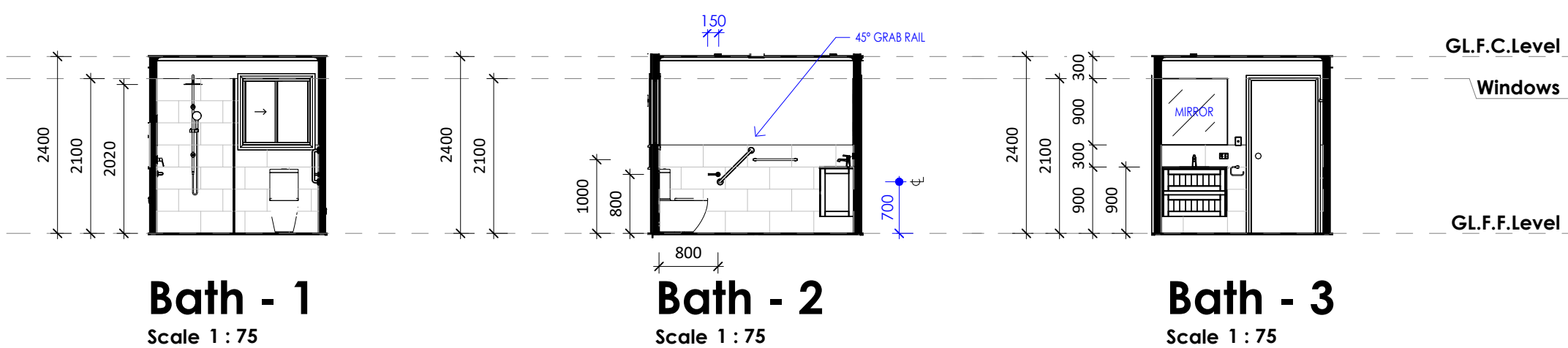
### Perspective

3D Bathroom View B



### Perspective

3D Bathroom View C



## Bath - 1

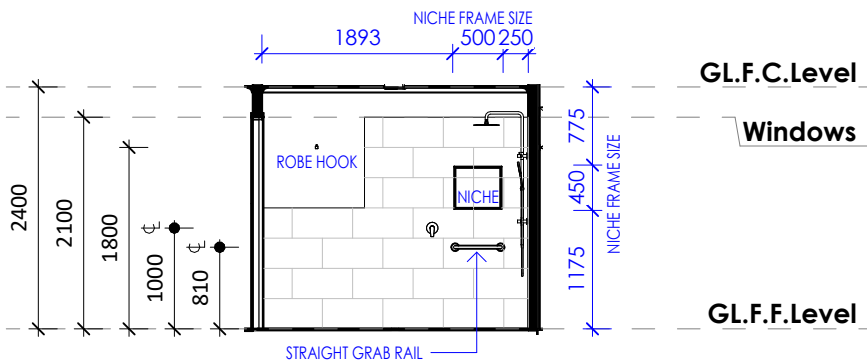
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## Bath - 2

Scale 1 : 75

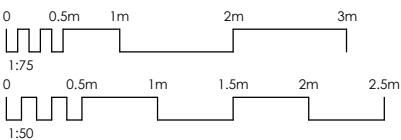
## Bath - 3

Scale 1 : 75



## Bath - 4

Scale 1 : 75



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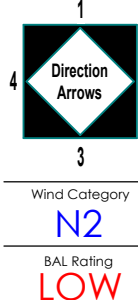
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Drawing Title

Project Name

Proposed - Residence

Client & Project Address

Mr Stephen Kruse

77 Riddell Street, Bingara, NSW, 2404

Property Description

Lot 26 / DP1239214

Project #

B597

Page #

A.06c

Issue

F

Wind Category

N2

BAL Rating

LOW

Draftsperson

JV

Scale

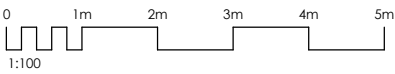
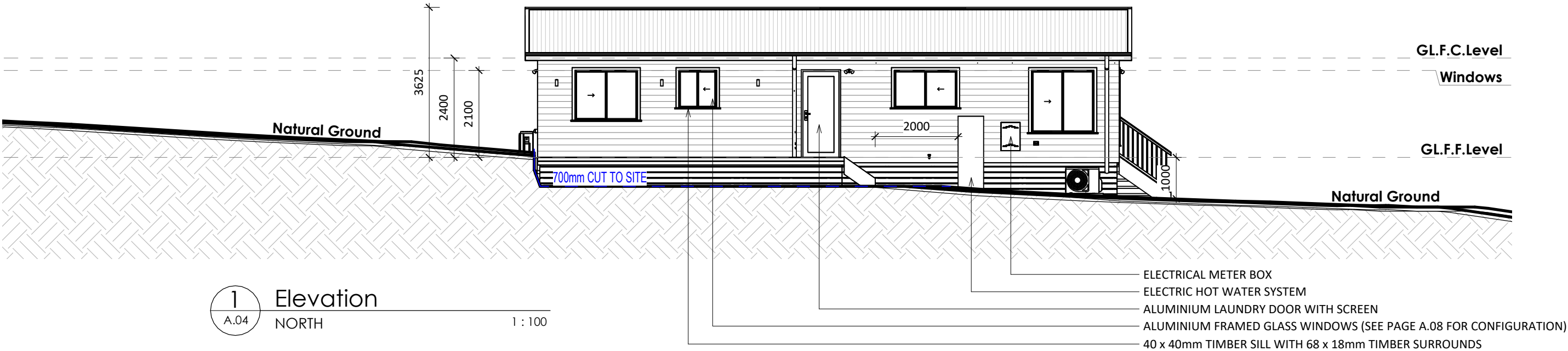
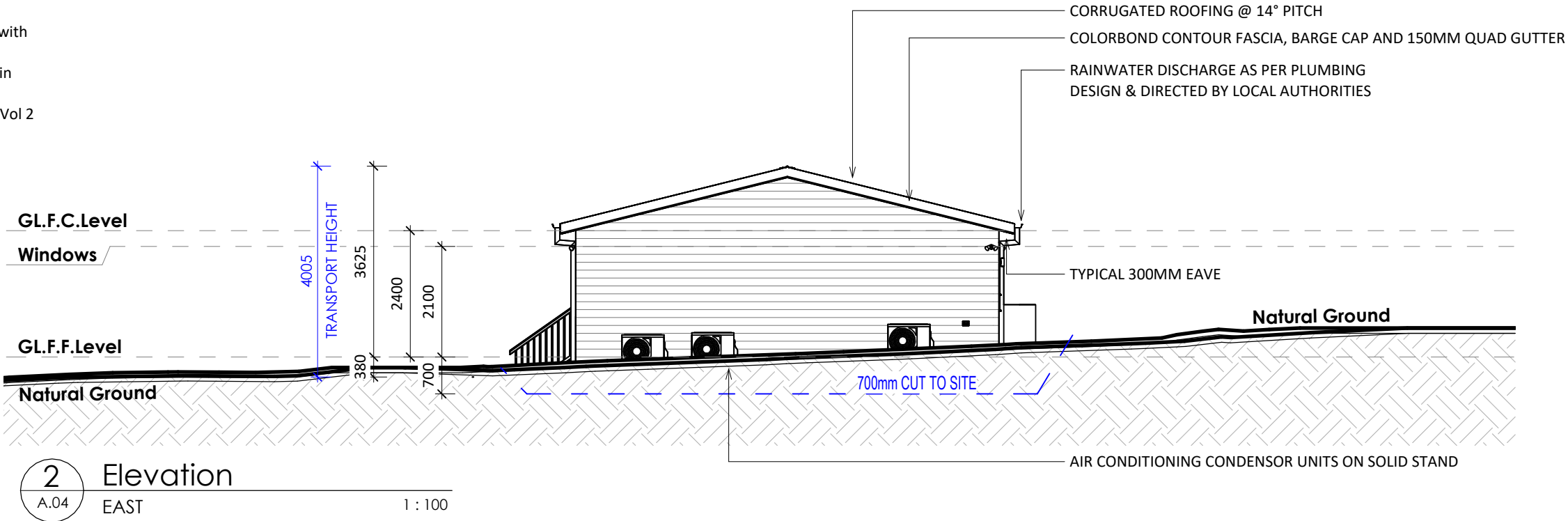
As indicated

**G.L.F.F.Level** - Denotes Finished Floor Level (FFL)  
**Windows** - Denotes Finished Height for Windows & Doors  
**G.F.C.Level** - Denotes Finished Ceiling Level (FCL)  
**Natural Ground** - Approximate Level of the Ground surrounding the Building

- Stairways and ramp construction are to be installed in accordance with Part 11.2, Vol 2 of the NCC - 2022
- Stair treads - A surface or nosing strip with a non-slip classification in accordance with AS 4586.
- Barriers and handrails are to be installed to comply with Part 11.3, Vol 2 of the NCC - 2022

**Landings**  
be provided where the sill of a threshold of a doorway opens onto a stairway or ramp that provides a change in floor level to ground level greater than 3 rises or 570mm as per Part 11.2.5, Vol 2. of the NCC - 2022

**Construction of barriers to prevent falls**  
to be provided if the trafficable surface is 1m or more above the surface beneath as per Figure 11.3.3a, Vol 2. NCC - 2022



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Wind Category		Elevations	
N2		Project Name	
BAL Rating		Proposed - Residence	
LOW		Client & Project Address	
		Mr Stephen Kruse	
		77 Riddell Street, Bingara, NSW, 2404	
		<b>Issue for Certification</b>	
		Property Description	
		Lot 26 / DP1239214	
		Project #	Page #
		B597	A.07a
		Issue	F

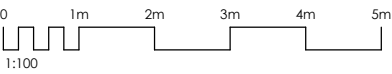
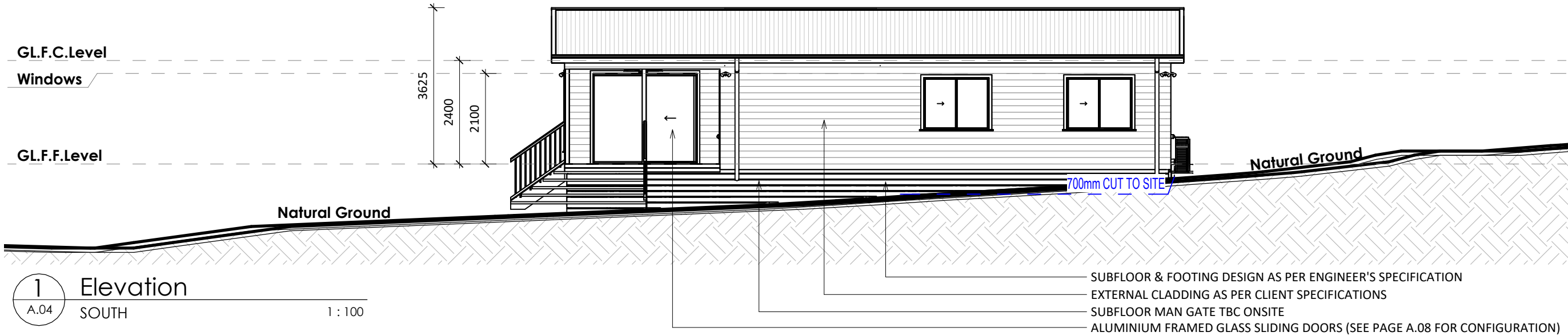


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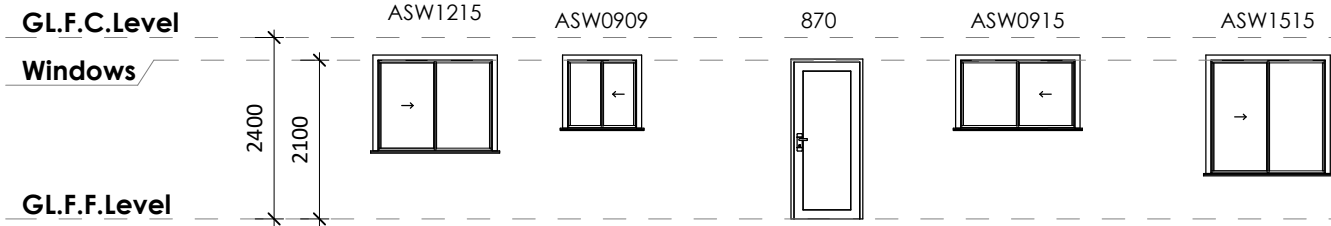
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		Mr Stephen Kruse	
		77 Riddell Street, Bingara, NSW, 2404	
		<b>Issue for Certification</b>	
		Property Description	
		Lot 26 / DP1239214	
		Project #	Page #
		B597	A.07b
		Issue	F



## NORTH External Windows & Doors

Scale 1 : 100



## EAST External Windows & Doors

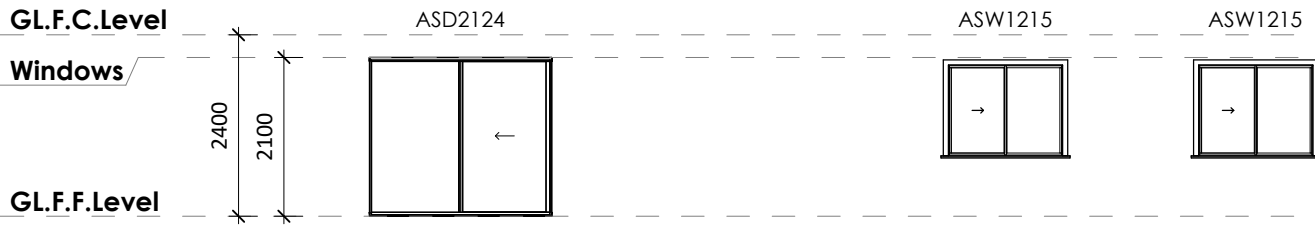
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### Window Schedule

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ASW0909	900	910	1200	GL.F.F.Level	1	
ASW0915	900	1510	1200	GL.F.F.Level	1	
ASW1215	1200	1510	800	GL.F.F.Level	2	
ASW1215	1200	1510	900	GL.F.F.Level	1	
ASW1515	1500	1510	600	GL.F.F.Level	1	

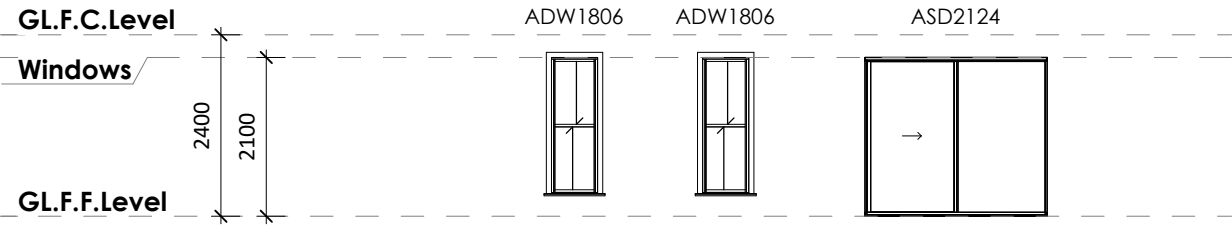
### Door Schedule

Type	Ext / Int	Height	Width	Level	Count	Comments
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2/820 SR	Internal	2100	1775	GL.F.F.Level	2	
3/620 SR	Internal	2100	2025	GL.F.F.Level	1	
870	Internal	2100	870	GL.F.F.Level	5	
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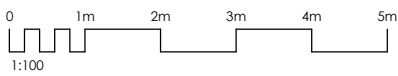
## SOUTH External Windows & Doors

Scale 1 : 100



## WEST External Windows & Doors

Scale 1 : 100



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OWNER/S: .....

BUILDER: .....

DATE: .....



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Q.B.C.C. Licenced Signatory

Drawing Title

Window & Door Schedule

Project Name

Proposed - Residence

Client & Project Address

Mr Stephen Kruse  
77 Riddell Street, Bingara, NSW, 2404

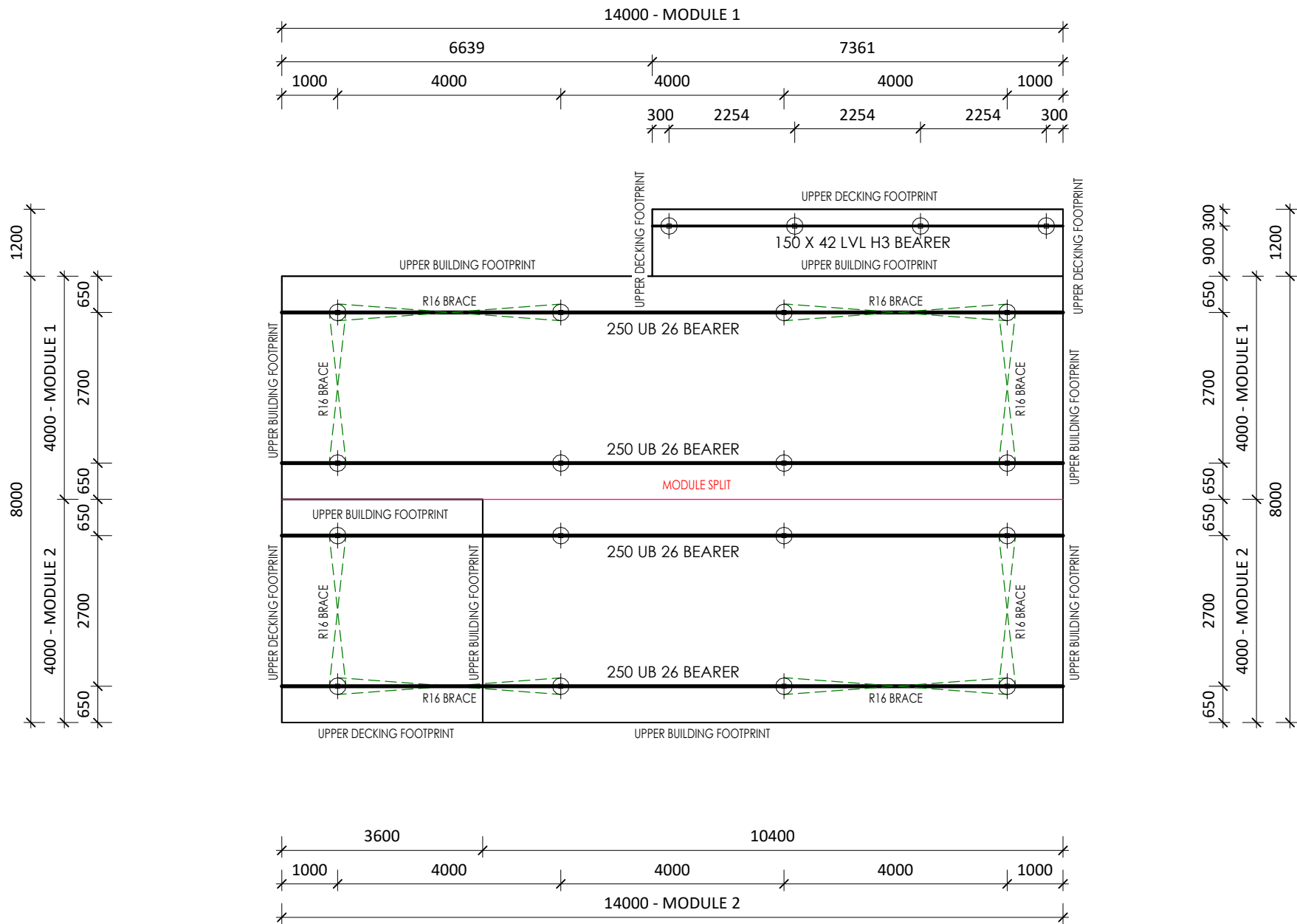
**Issue for Certification**

Property Description  
Lot 26 / DP1239214

Project #  
B597

Page #  
A.08

Issue  
F



## Plan

Stump Setout & Subfloor  
Bracing

1 : 100

## WIND BRACING CALCULATIONS

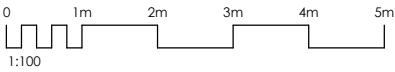
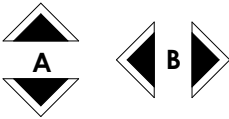
		Bracing resistance
Wind Dir. <b>A</b>	(16)75x75 shs adjustable steel piers @ 1.5 kn each	24 kN
	(04)R16 Brace @ 12.0 kn each	48 kN
	Total resistance dir. A = <b>Required resistance dir. A =</b>	72 kN <b>41.04 kN</b>
Wind Dir. <b>B</b>	(16)75x75 shs adjustable steel piers @ 1.5 kn each	24 kN
	(04)R16 Brace @ 12.0 kn each	48 kN
	Total resistance dir. B = <b>Required resistance dir. B =</b>	72 kN <b>26.40 kN</b>
All bracing to be fixed and anchored strictly in accordance with manufacturers specifications.		

### NOTES:

- Termite barrier to be provided in accordance with Clause 3.1.3, Volume 2 of NCC (QLD variation) and AS3660.1.
- All conections unless otherwise noted on typical steelwork connections to be 10mm cleat plate, 6mm cfw with 2/m20 8.8/s bolts.
- Some piles may be located close to boundary and adjoining buildings. Piling contractor to assess and construct piles in a suitable manner, as to not damage adjoining/existing constructs.
- Stump height to be less than 900mm. Notify engineer if stump heights vary to that.
- Timber Bearers and joists sized from AS1684.2
- Steel Bearers and joists sized by registered engineer

### FLOOR SUBFLOOR FRAMING SYMBOLS/LEGEND

- Location of steel SHS stump set in concrete footing to engineers detail
- Dimension to centre line
- Column to be supported by joist brace
- Floor waste or strip grate
- R16 stump brace
- Joist brace (see detail drawing above)



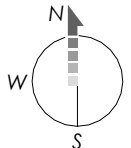
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Wind Category  
**N2**  
BAL Rating  
**LOW**

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Draftsperson  
**JV**  
Scale  
**1 : 100**

Drawing Title

Stump Setout & Subfloor Bracing

Project Name

Proposed - Residence

Client & Project Address

Mr Stephen Kruse  
77 Riddell Street, Bingara, NSW, 2404

**Issue for Certification**

Property Description

Lot 26 / DP1239214

Project #

B597

Page #

A.09

Issue







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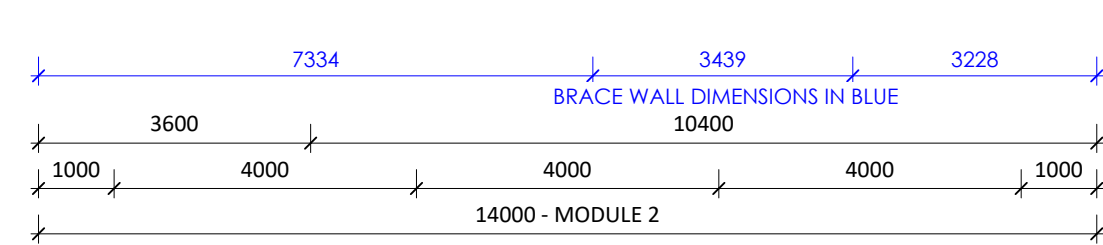
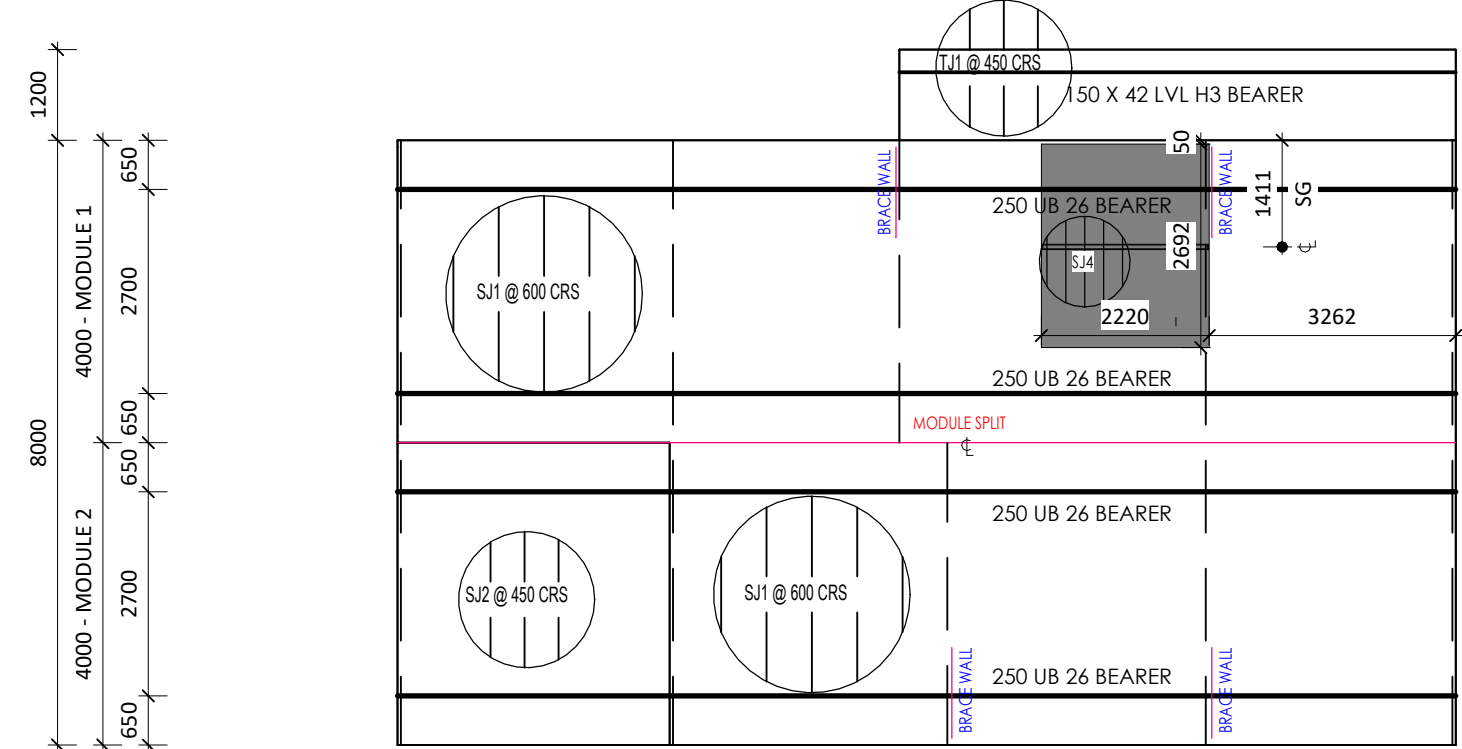
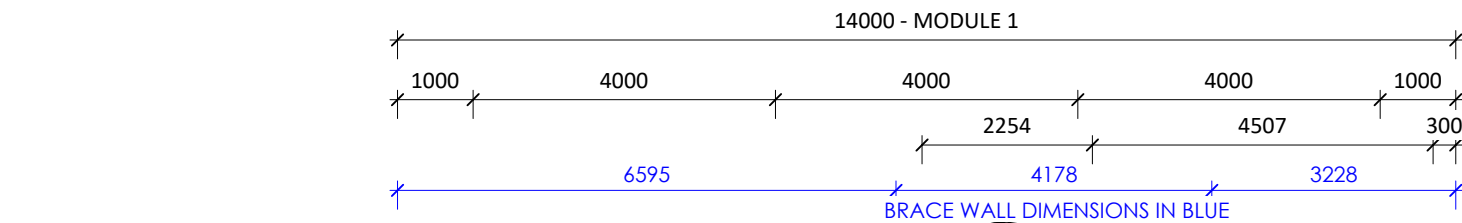
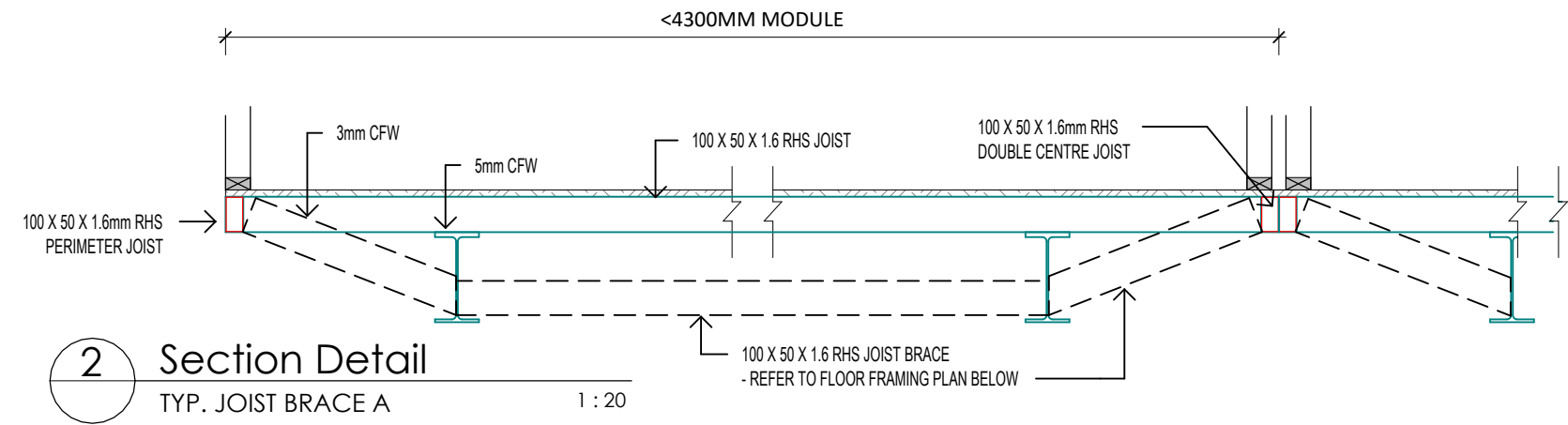


FLOOR FRAMING SCHEDULE STEEL			
USED	MARK	TYPE	COMMENTS
✓	SJ1	100 x 50 x 1.6mm RHS	JOISTS @ 600mm CENTRES
✓	SJ2	100 x 50 x 1.6mm RHS	JOISTS @ 450mm CENTRES
N/A	SJ3	150 x 50 x 1.6mm RHS	JOISTS @ 600mm CENTRES
✓	SJ4	50 x 100 x 1.6mm RHS	JOISTS @ 250mm CRS (-50 DROPDOWN)
N/A	SB1	310 UB 32	STEEL UNIVERSAL BEARER MAX 4m STUMP SPACING (over 16m module length)
✓	SB2	250 UB 26	STEEL UNIVERSAL BEARER MAX 4m STUMP SPACING (up to 16m Module length)
N/A	SB3	150 x 50 x 1.6mm RHS	STEEL RHS BEARER MAX 2.9m STUMP SPACING

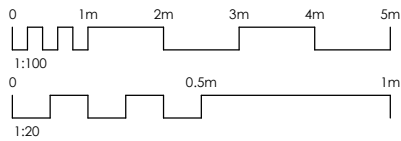
FLOOR FRAMING SCHEDULE TREATED PINE TIMBER			
USED	MARK	TYPE	COMMENTS
✓	TJ1	140 x 45mm MGP10 (H3)	JOISTS @ 450mm CRS (VERANDAH)
N/A	TJ2	190 x 45mm MGP10 (H3)	JOISTS @ 450mm CRS (VERANDAH)
✓	TB1	150 x 42mm LVL (H3)	LVL BEARER MAX 2.7m STUMP SPACING
N/A	TB2	200 x 42mm LVL (H3)	LVL BEARER MAX 3.4m STUMP SPACING

FLOOR SUBFLOOR FRAMING SYMBOLS/LEGEND

-  Location of steel SHS stump set in concrete footing to engineers detail
-  Dimension to centre line
-  Column to be supported by joist brace
-  Floor waste or strip grate
-  R16 stump brace
-  Joist brace (see detail drawing above)



Plan  
Floor Framing 1 : 100



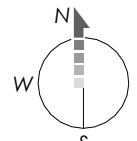
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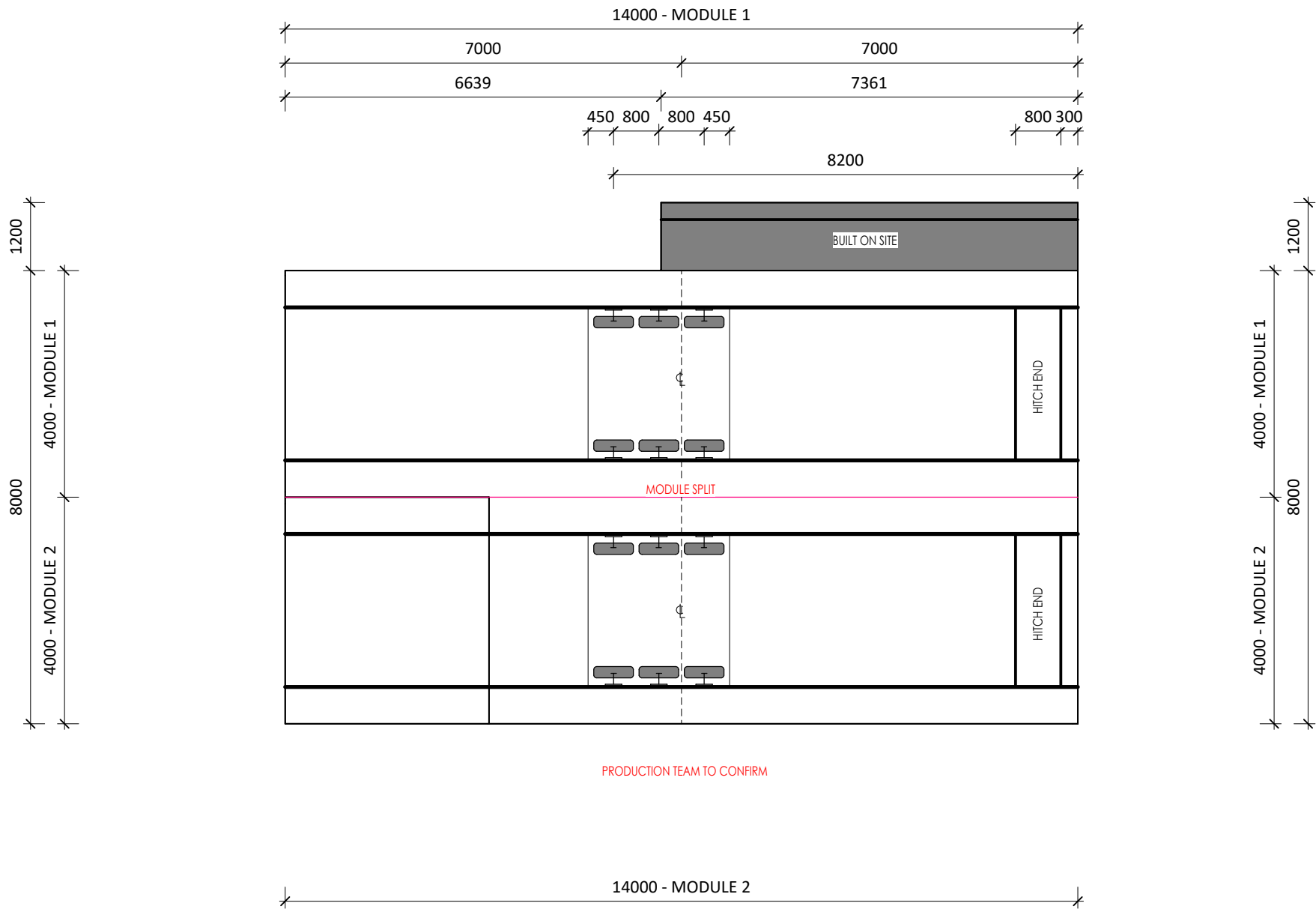


Wind Category  
**N2**  
BAL Rating  
**LOW**

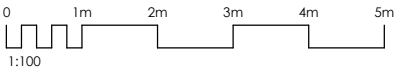
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Draftsperson  
**JV**  
Scale  
As indicated

Drawing Title Floor Framing Plan			
Project Name Proposed - Residence			
Client & Project Address Mr Stephen Kruse 77 Riddell Street, Bingara, NSW, 2404			
<b>Issue for Certification</b>			
Property Description Lot 26 / DP1239214	Project # B597	Page # A.10	Issue F



1 Plan Detail  
A.06a Chassis & Axle 1 : 100



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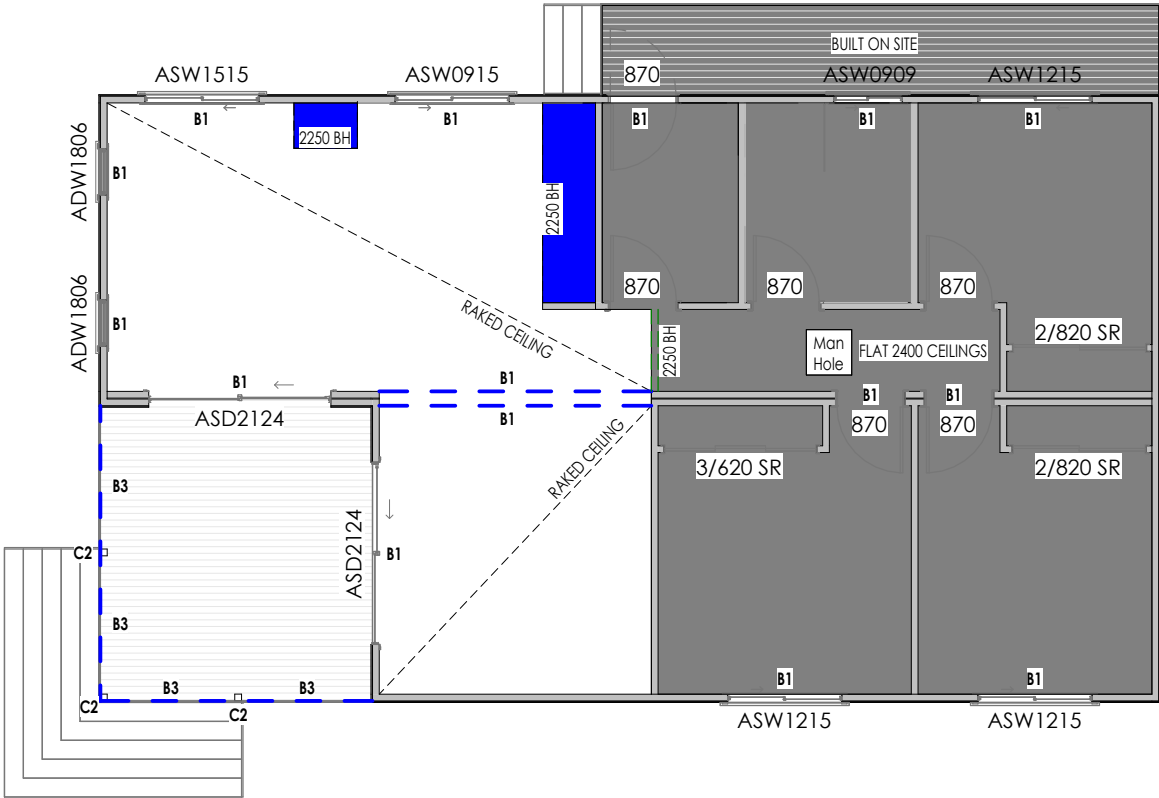
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		Chassis & Axle Plan	
		Project Name	
		Proposed - Residence	
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		Mr Stephen Kruse	
		77 Riddell Street, Bingara, NSW, 2404	
		Issue for Certification	
		Property Description	
		Lot 26 / DP1239214	
		Project #	Page #
		B597	A.11
		Issue	
		F	

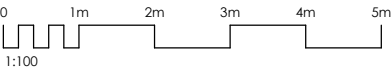
WALL FRAME ASSEMBLY, TIEDOWN AND RACKING RESISTANCE  
AS PER CERTIFIED FRAMECAD SOFTWARE.



Plan  
Bracing, Lintel & Tiedown 1 : 100

BRACING CATEGORY (AS4055-2021)

Terain Category: TC2.5  
Topography Class: T0  
Shielding: NS  
Wind Region: A  
Design Wind Category: N2



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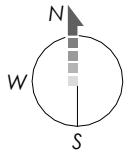
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Wind Category  
**N2**  
BAL Rating  
**LOW**

Q.B.C.C. Licenced Signatory

Draftsperson  
**JV**  
Scale  
As indicated

Drawing Title

Steel Frame Superstructure Layout

Project Name

Proposed - Residence

Client & Project Address

Mr Stephen Kruse  
77 Riddell Street, Bingara, NSW, 2404

**Issue for Certification**

Property Description  
Lot 26 / DP1239214

BEAM SCHEDULE

USED	ID	TYPE	COMMENTS
✓	B1	FRAMECAD BEAM as per FRAMECAD DRAWINGS	
N/A	B2	140 x 45mm MGP 10 (H3)	VERANDAH BEAM
✓	B3	190 x 45mm MGP 10 (H3)	VERANDAH BEAM
N/A	B4	240 x 45mm MGP 10 (H3)	VERANDAH BEAM
N/A	B5	240 x 42mm LVL	VERANDAH BEAM
N/A	B6	300 x 63mm LVL	VERANDAH BEAM

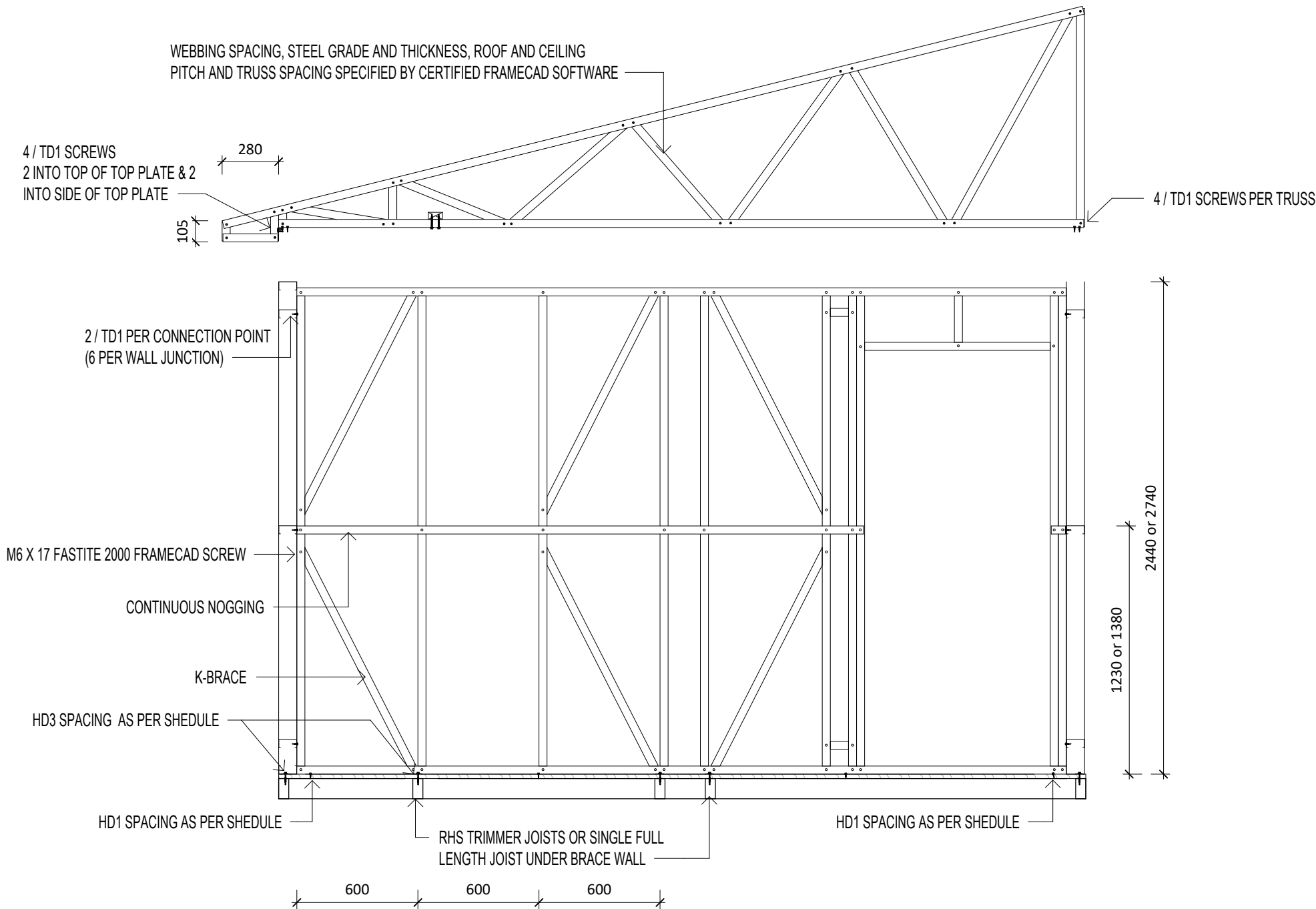
COLUMN SCHEDULE

N/A	ID	TYPE	COMMENTS
N/A	C1	75 x 75 x 4mm STEEL COLUMN	
✓	C2	88 x 88mm TIMBER POST	
N/A	C3	90 x 90mm STEEL POST	
N/A	C4	135 x 135mm TIMBER POST	
N/A	C5	90 x 90mm GLULAM MERBAU (BAL)	



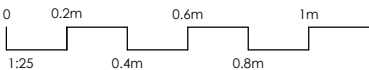
8 Section Detail  
FC - Standard Truss

1 : 25



3 Section Detail  
FC - Internal Wall - K-Brace

1 : 25



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Drawing Title

Steel Frame Section Standard Truss

Project Name

Proposed - Residence

Client & Project Address

Mr Stephen Kruse  
77 Riddell Street, Bingara, NSW, 2404

**Issue for Certification**

Property Description

Lot 26 / DP1239214

Project #

B597

Page #

A.12b

Issue

F

Wind Category

**N2**

BAL Rating

**LOW**

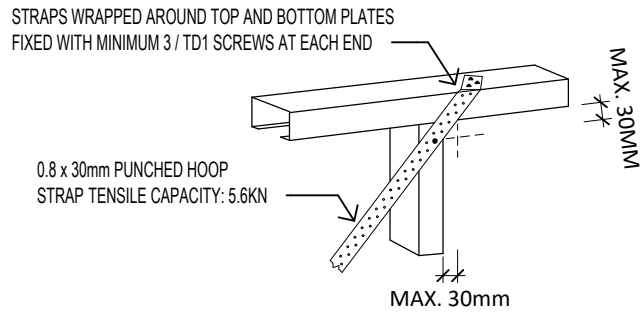
Draftsperson

**JV**

Scale

1 : 25

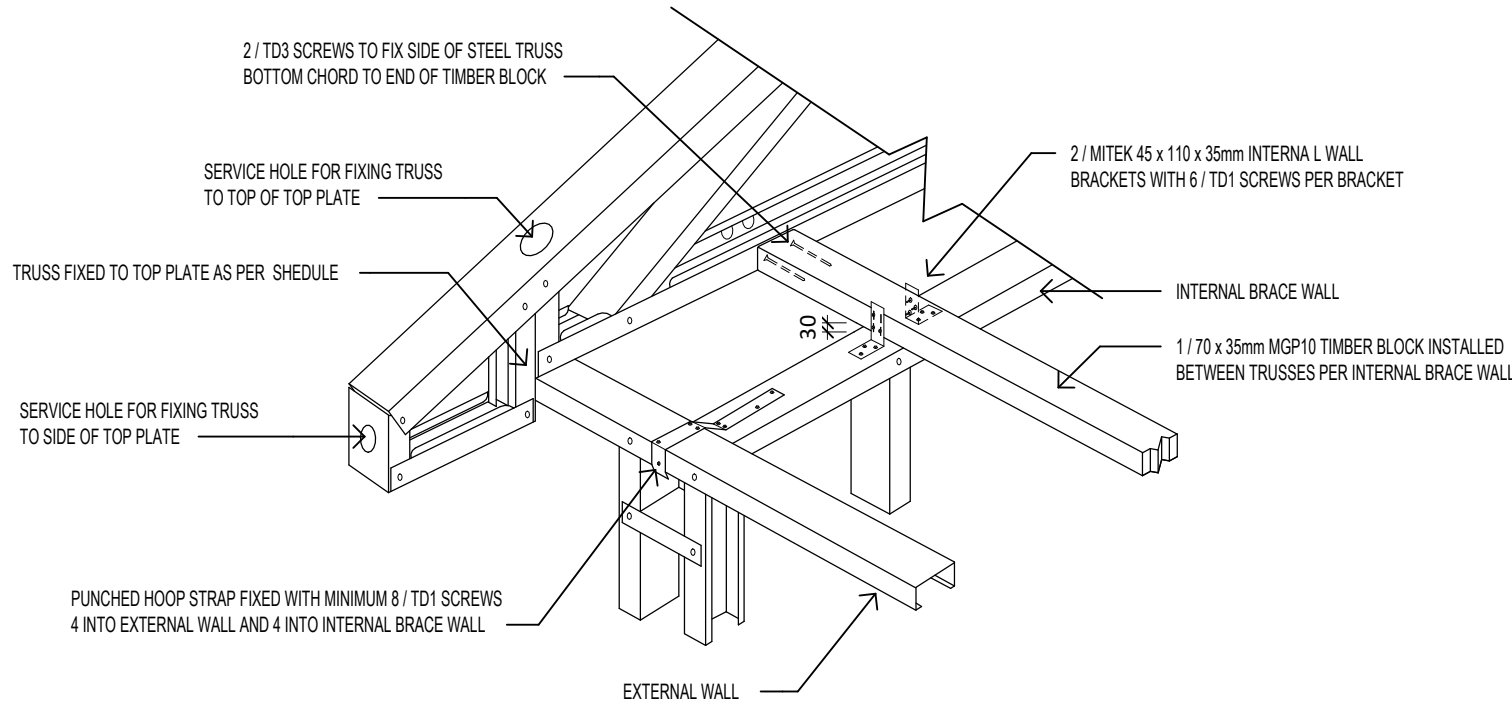




## Perspective

FC - Steel Strap Connection  
Detail

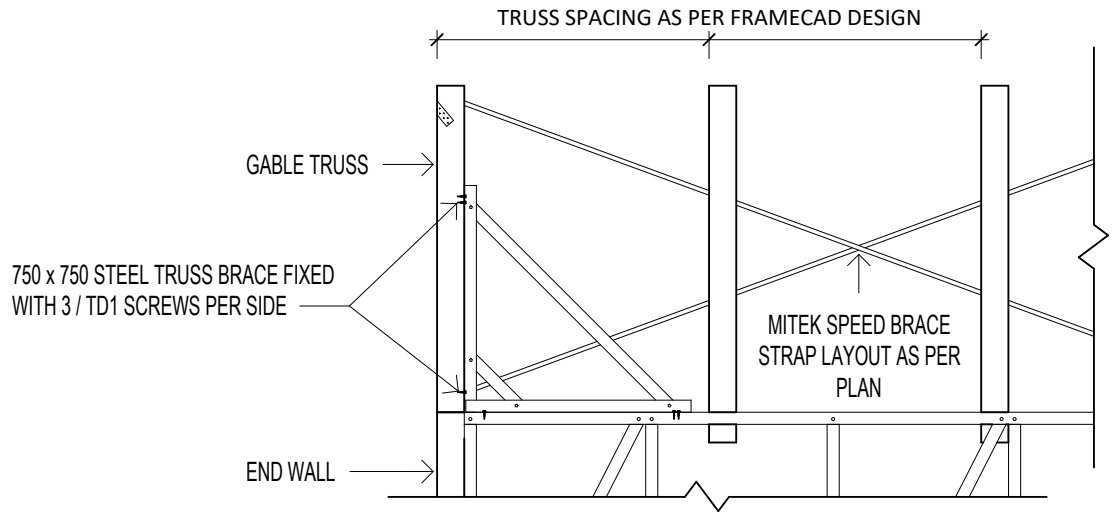
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## Perspective

FC - Transfer Connections  
(N1 - N4 Wind Rating)

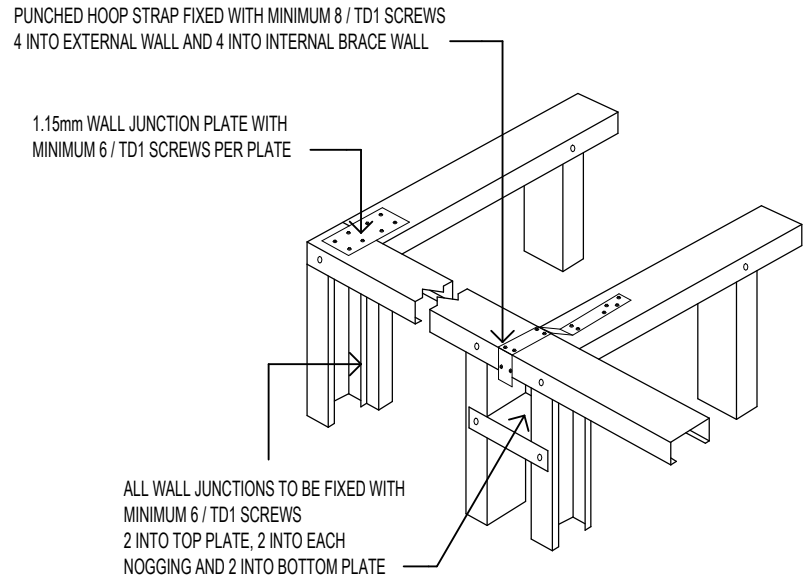
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## 4 Section Detail

FC - Gable Truss Brace

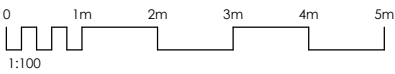
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## Perspective

FC - Wall Frame Junctions

1 : 25



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Q.B.C.C. Licenced Signatory

Drawing Title

Steel Frame Connections

Project Name

Proposed - Residence

Client & Project Address

Mr Stephen Kruse  
77 Riddell Street, Bingara, NSW, 2404

**Issue for Certification**

Property Description  
Lot 26 / DP1239214

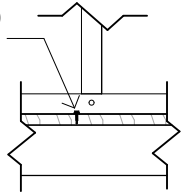
Project #  
B597

Page #  
A.12d

Issue  
F



1 / HD1 SCREW @ MAXIMUM 600 CRS ON ALL INTERNAL WALLS



#### HD1 APPLICATION GUIDE (N1 - N4 WIND RATING)

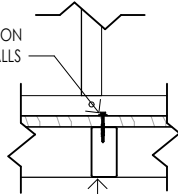
- TO BE USED FOR HOLDOWN ON ALL INTERNAL WALLS AT NO GREATER THAN 600MM SPACINGS
- TO BE USED WITHIN MAXIMUM 50MM FROM STUDS, OPENINGS, DOORS, INTERNAL / EXTERNAL CORNERS, END OF WALL
- DO NOT NEED TO PENETRATE SUBFLOOR FRAME
- DO NOT NEED WASHERS
- ENSURE SCREWS DO NOT STRIP OUT TIMBER FLOOR

## 1 Section Detail

### HD1 APPLICATION GUIDE (N1 - N4 WIND RATING)

1 : 15

1 / HD2 SCREW @ MAXIMUM 600 CRS ON ALL EXTERNAL AND LOAD BEARING WALLS



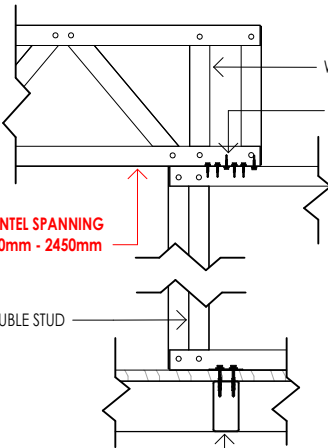
#### HD2 APPLICATION GUIDE (N1 - N4 WIND RATING)

- TO BE USED UNDER WINDOWS
- TO BE USED FOR HOLDOWN ON ALL LOAD BEARING AND STRUCTURAL WALLS
- TO BE USED WITHIN MAXIMUM 50MM FROM STUDS, OPENINGS, DOORS, INTERNAL / EXTERNAL CORNERS, END OF WALL
- MUST PENETRATE SUBFLOOR 1.6mm RHS FRAME BY MINIMUM 20mm
- PRE-DRILL STEEL TO ENSURE SCREWS DO NOT STRIP OUT

## 2 Section Detail

### HD2 APPLICATION GUIDE (N1 - N4 WIND RATING)

1 : 15



#### HD3 APPLICATION GUIDE (N1 - N4 WIND RATING)

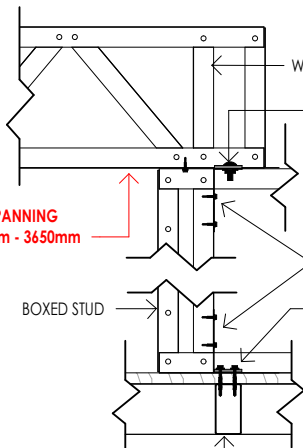
- 1 PER K-BRACE STUD, STRAP BRACE STUD, EACH SIDE OF DOOR OPENING / WINDOW UNDER 1250mm WIDE AND EXTERNAL CORNERS(1 PER WALL)
- 2 PER EACH SIDE OF DOOR OPENING / WINDOW BETWEEN 1250mm - 2450mm
- TO BE USED WITHIN MAXIMUM 50MM FROM STUDS
- SCREW MUST BE USED IN CONJUNCTION WITH 38 x 38 x 2mm WASHER
- MUST PENETRATE SUBFLOOR 1.6mm RHS FRAME BY MINIMUM 20mm
- PRE-DRILL STEEL RHS FRAME TO ENSURE SCREWS DO NOT STRIP OUT

## 3 Section Detail

### HD3 APPLICATION GUIDE (N1 - N4 WIND RATING)

1 : 15

BEAM / LINTEL SPANNING BETWEEN 2450mm - 3650mm



#### HD4 APPLICATION GUIDE (N1 - N4 WIND RATING)

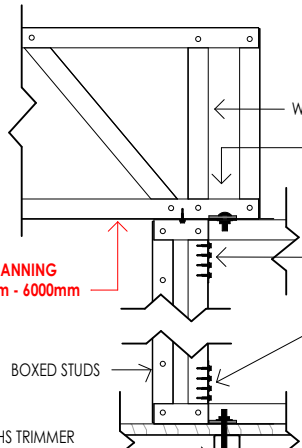
- 2 PER EACH SIDE OF OPENING / WINDOW OR OPEN LIVING AREA BETWEEN 2450mm - 3650mm WIDE
- BRACKET MUST BE USED IN CONJUNCTION WITH 6mm WASHER
- HD2 SCREWS MUST PENETRATE SUBFLOOR 1.6mm RHS FRAME BY MINIMUM 20mm
- PRE-DRILL STEEL RHS FRAME TO ENSURE SCREWS DO NOT STRIP OUT

## 4 Section Detail

### HD4 APPLICATION GUIDE (N1 - N4 WIND RATING)

1 : 15

BEAM / LINTEL SPANNING BETWEEN 3650mm - 6000mm



#### HD5 APPLICATION GUIDE (N1 - N4 WIND RATING)

- 2 PER EACH SIDE OF OPENING / WINDOW OR OPEN LIVING AREA BETWEEN 3650mm - 6000mm WIDE
- BRACKET MUST BE USED IN CONJUNCTION WITH 6MM WASHER
- M12 BOLT MUST BE FIXED TO RHS STEEL JOIST

## 5 Section Detail

### HD5 APPLICATION GUIDE (N1 - N4 WIND RATING)

1 : 15

### Steel Frame Hold-down Schedule

Code	Image	Item Name	Detail
HD1		12G 20mm 14 TPI 5/16" Screw	Screw Gauge: 12G Length: 20mm Threads Per Inch: 12 TPI Driver Type: 5/16" Point Type: Tek Metal Self Drill <b>or</b> Timber drill point
HD2		14G 55mm 12 TPI 3/8" Screw	Screw Gauge: 14G Length: 55mm Threads Per Inch: 12 TPI Driver Type: 3/8" Point Type: Tek Metal Self Drill
HD3		14G 55mm 10 TPI 3/8" Screw <b>with</b> 38mm Washer	Screw Gauge: 14G Length: 55mm Threads Per Inch: 10 TPI Driver Type: 3/8" Point Type: Tek Metal Self Drill  Washer to suit fastener size: M10 Thickness: 3mm Class Grade: Low Tensile Class 4.6
HD4		FC Bracket & 6mm Washer, 4 / TD1-FC Screws, 2 / HD2 Screws	FRAMECAD 125 x 55 x 1mm Bracket FRAMECAD 6mm Washer
HD5		FC Bracket & 6mm Washer, 8/ TD1-FC Screws, M12 150mm Cup Head Bolt, washer & nut	FRAMECAD 125 x 55 x 1mm Bracket FRAMECAD 6mm Washer  Size & Thread pitch: M12 x 1.75p coarse Class Grade: Low Tensile Class 4.6 Length: 150mm Washer: M12 x 37 x 3mm
Column		90 x 90 x 3mm SHS with Beam	Refer to Plans

### Steel Frame Tie-down Schedule

Code	Image	Item Name	
TD1-FC		10G 18mm 14 TPI 5/16" FINE THREAD Screw <i>USE ONLY FOR FRAMECAD TIEDOWN BRACKETS AND ASSEMBLING FRAME / TRUSS COMPONENTS IN FACTORY</i>	Screw Gauge: 10G Length: 10mm Threads Per Inch: 12 TPI Driver Type: 5/16" Point Type: Tek Metal Self Drill
TD1		12G 20mm 12 TPI 5/16" Screw	Screw Gauge: 12G Length: 20mm Threads Per Inch: 12 TPI Driver Type: 5/16" Point Type: Tek Metal Self Drill or Timber drill point
TD2		12G 40mm 14 TPI 5/16" Screw	Screw Gauge: 12G Length: 40mm Threads Per Inch: 14 TPI Driver Type: 5/16" Point Type: Tek Metal Self Drill or Timber drill point
TD3		14G 65mm 10 TPI 3/8" Screw	Screw Gauge: 14G Length: 65mm Threads Per Inch: 10 TPI Driver Type: 3/8" Point Type: Tek Metal Self Drill or Timber drill point



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F	Issue for Engineering	11.03.2025
E	Preliminary Detailed	09.01.2025
D	Preliminary Concept and Site Adjustments	19.12.2024
C	Site Discovery Meeting	10.12.2024
B	Preliminary Concept	05.12.2024
A	Initial Design Meeting	28.11.2024

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Q.B.C.C. Licenced Signatory

Drawing Title

Steel Frame Tiedown Schedule

Project Name

Proposed - Residence

Client & Project Address

Mr Stephen Kruse  
77 Riddell Street, Bingara, NSW, 2404

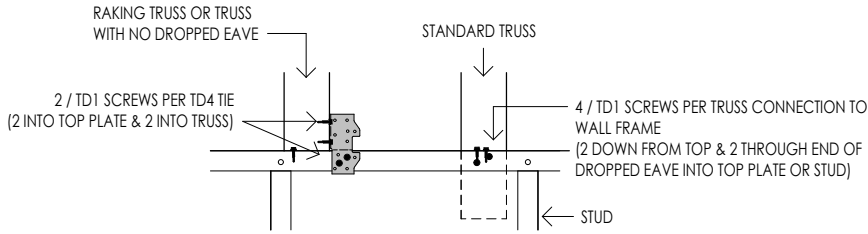
**Issue for Certification**

Property Description  
Lot 26 / DP1239214

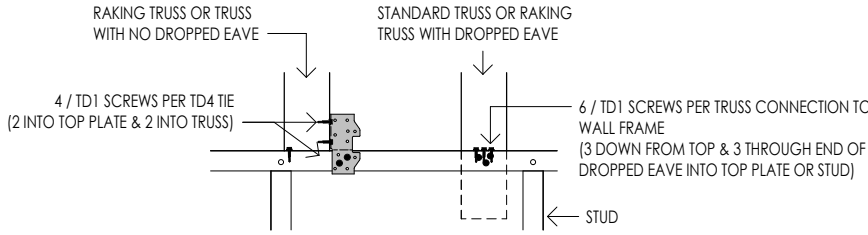
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Page #  
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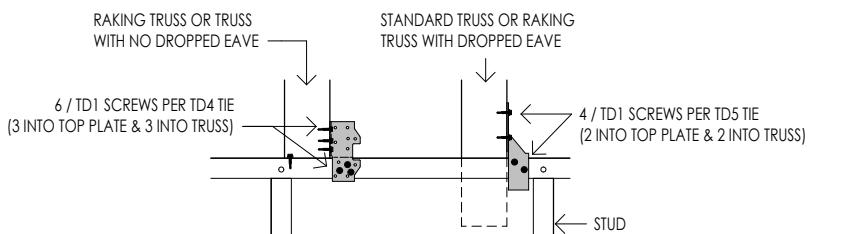
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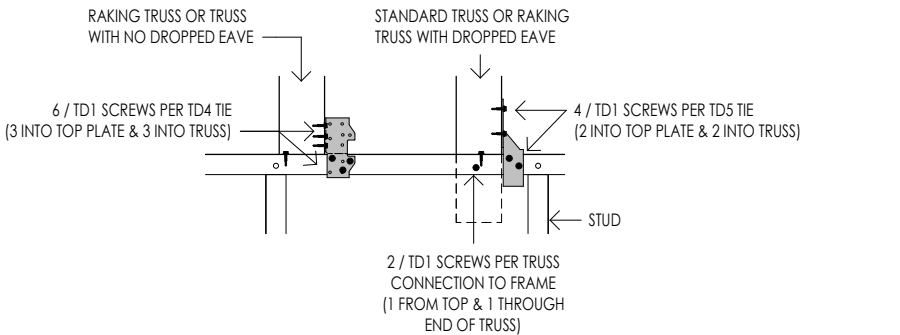
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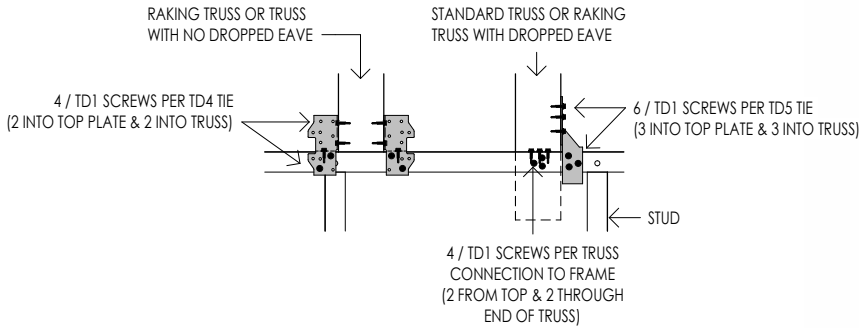
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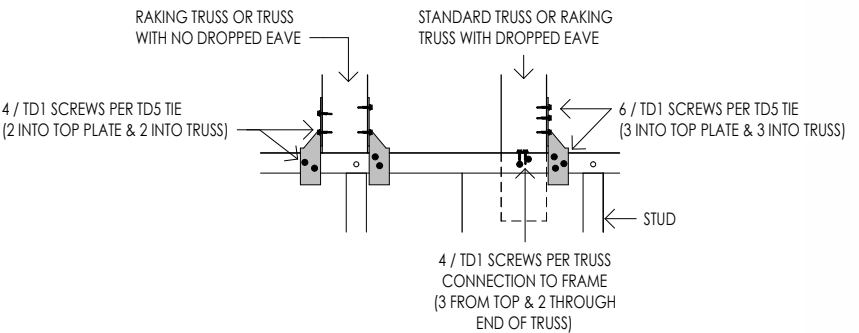
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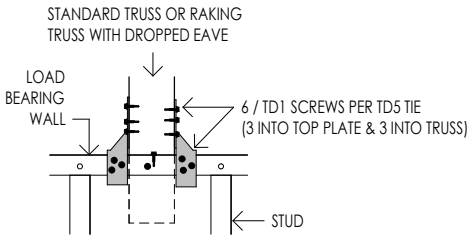
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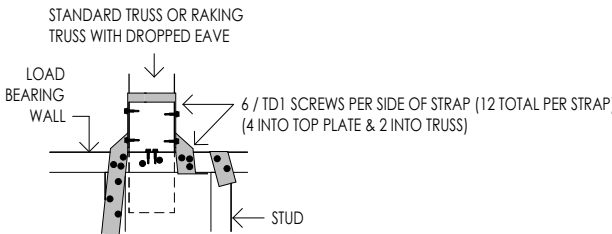
3.0 - 4.5 kN UPLIFT



4.5 - 6.0 kN UPLIFT



6.0 - 7.5 kN UPLIFT



7.5 - 9.0 kN UPLIFT

Steel Truss Tie-down Schedule

Code	Image	Item Name	Detail
TD1-FC		10G 18mm 14 TPI 5/16" FINE THREAD Screw USE ONLY FOR FRAMECAD TIEDOWN BRACKETS AND ASSEMBLING FRAME / TRUSS COMPONENTS IN FACTORY	Screw Gauge: 10G Length: 10mm Threads Per Inch: 12 TPI Driver Type: 5/16" Point Type: Tek Metal Self Drill
TD1		12G 20mm 12 TPI 5/16" Screw	Screw Gauge: 12G Length: 20mm Threads Per Inch: 12 TPI Driver Type: 5/16" Point Type: Tek Metal Self Drill or Timber drill point
TD2		12G 40mm 14 TPI 5/16" Screw	Screw Gauge: 12G Length: 40mm Threads Per Inch: 14 TPI Driver Type: 5/16" Point Type: Tek Metal Self Drill or Timber drill point
TD3		14G 65mm 10 TPI 3/8" Screw	Screw Gauge: 14G Length: 65mm Threads Per Inch: 10 TPI Driver Type: 3/8" Point Type: Tek Metal Self Drill or Timber drill point
TD4		100mm Multigrip	MiTek Code: TGM Steel Gauge: G300 Thickness: 1.0mm Gal. coating: Z275
TD5		200mm Cyclone Tie	MiTek Code: CT180 (R/L) Steel Gauge: G300 Thickness: 1.0mm Gal. coating: Z275
TD6		600mm Cyclone Strap	MiTek Code: CT600 Steel Gauge: G300 Thickness: 1.0mm Gal. coating: Z275

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Q.B.C.C. Licenced Signatory

Drawing Title

Steel Truss Tiedown Schedule

Project Name

Proposed - Residence

Client & Project Address

Mr Stephen Kruse  
77 Riddell Street, Bingara, NSW, 2404

**Issue for Certification**

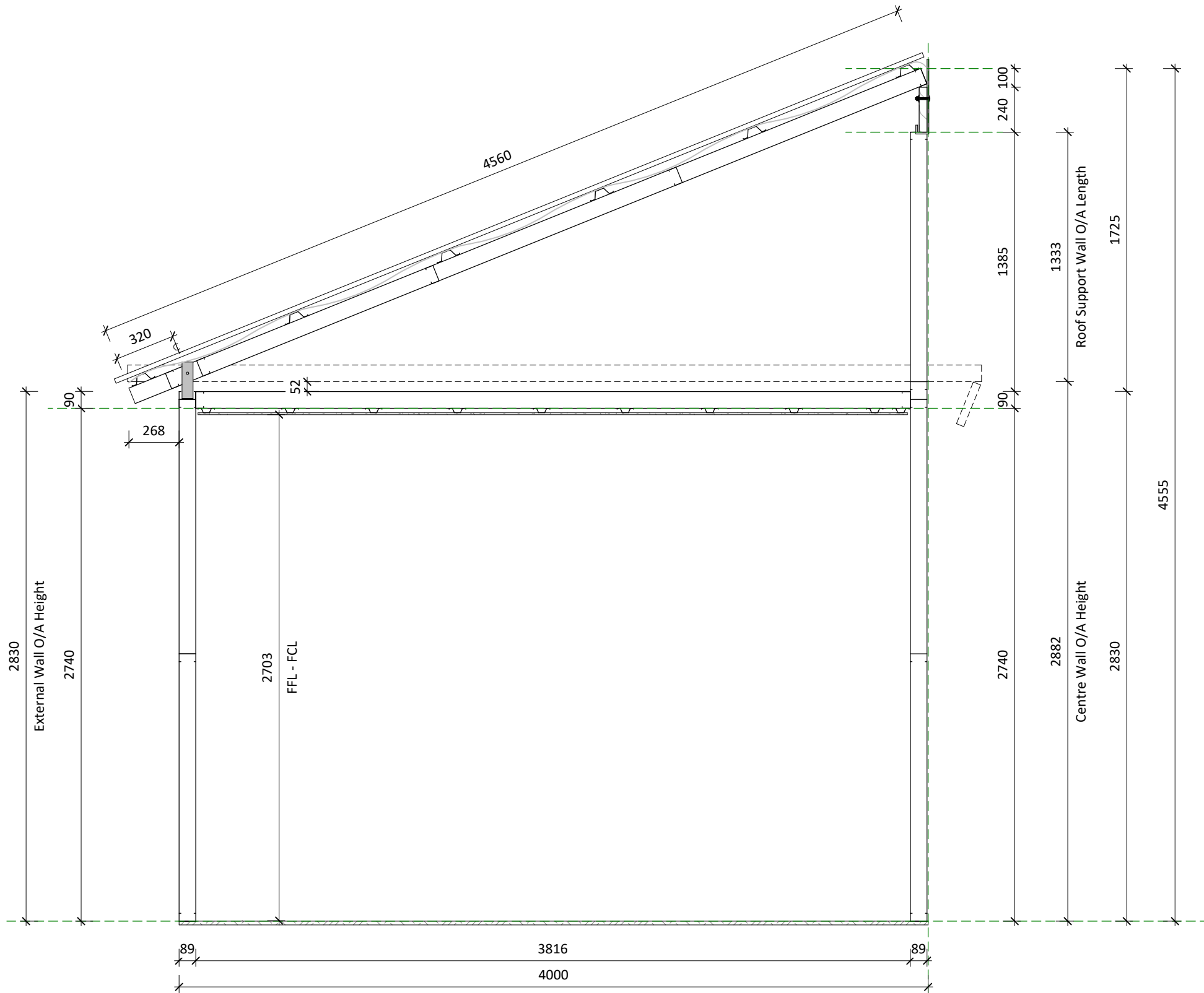
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Project #  
B597

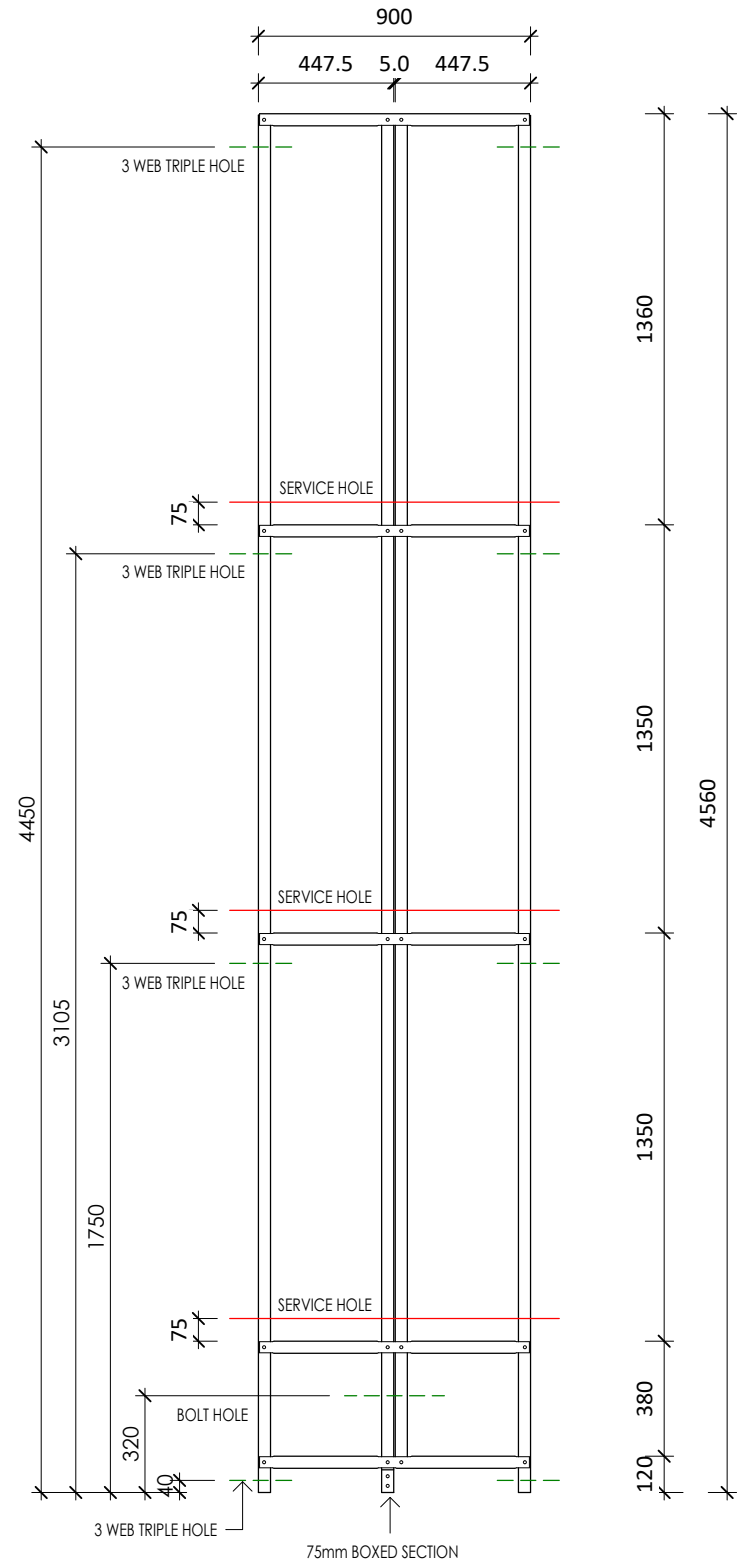
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Issue  
F

Issue	Description	Date
F	Issue for Engineering	11.03.2025
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A	Initial Design Meeting	28.11.2024



1 Section Detail  
FDR - Typical Section 1 : 25



2 Plan Detail  
FDR - Typical Fold Down Panel 1 : 25



Issue	Description	Date
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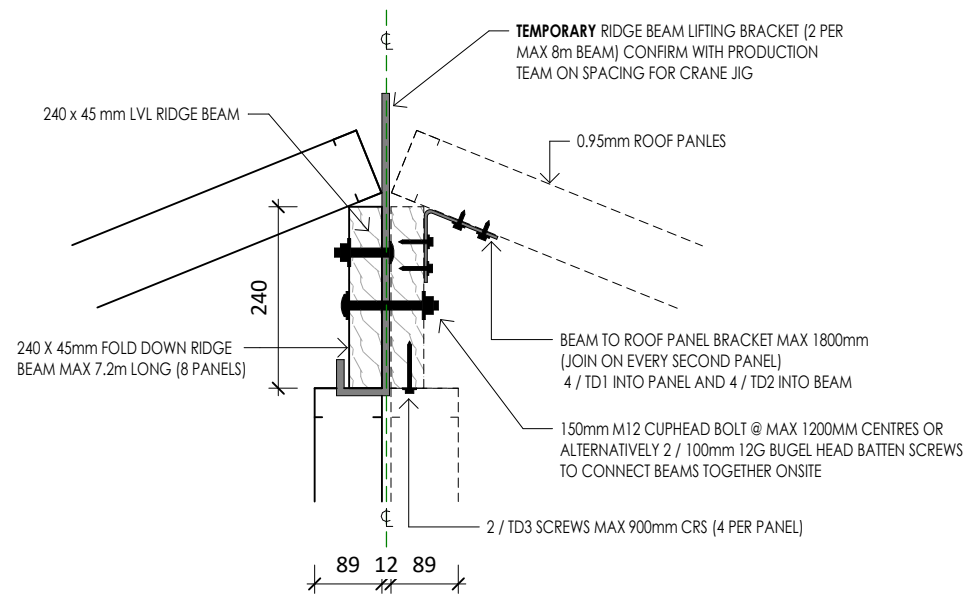
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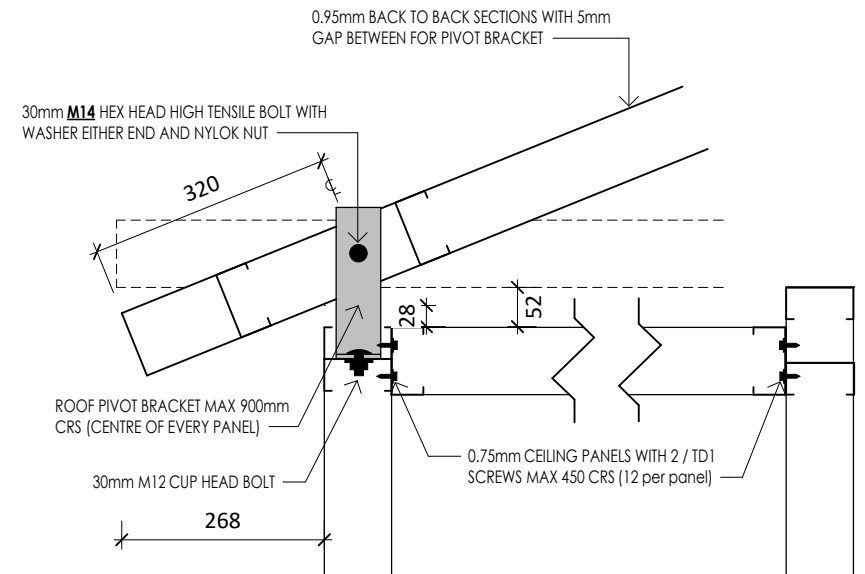


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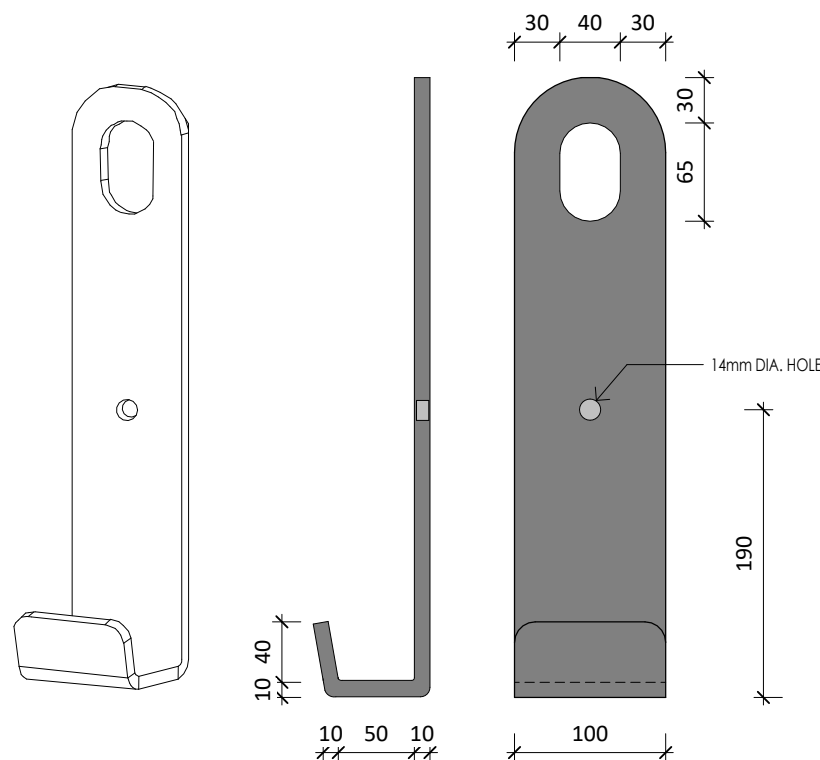
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Draftsperson		Project Name	
BAL Rating		Proposed - Residence	
Scale		Client & Project Address	
1 : 25		Mr Stephen Kruse	
		77 Riddell Street, Bingara, NSW, 2404	
		<b>Issue for Certification</b>	
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		Lot 26 / DP1239214	
		Project #	Page #
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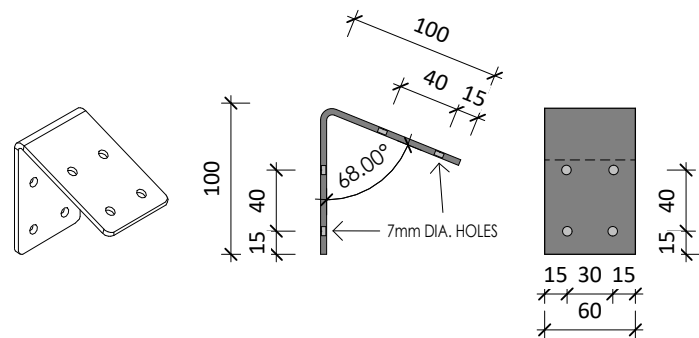
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FDR - Ridge Beam Detail 1 : 10



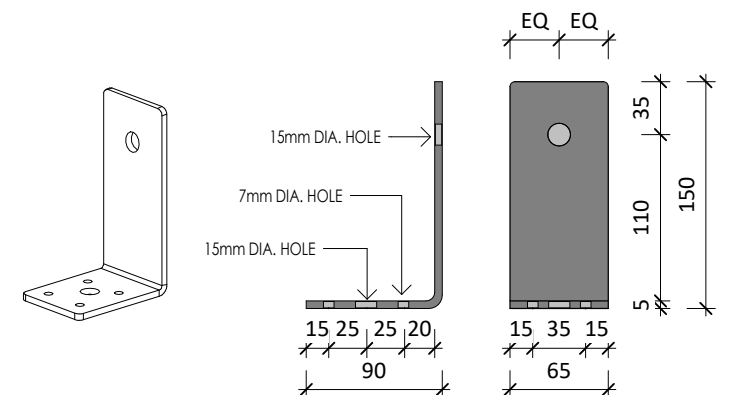
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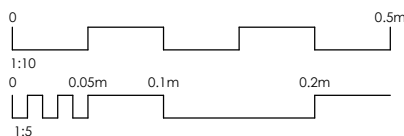
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FDR - Temporary Roof Lifting Bracket 1 : 5



3 Section Detail  
FDR - Ridge Beam Bracket 1 : 5



5 Section Detail  
FDR - Pivot Bracket 1 : 5



Issue	Description	Date
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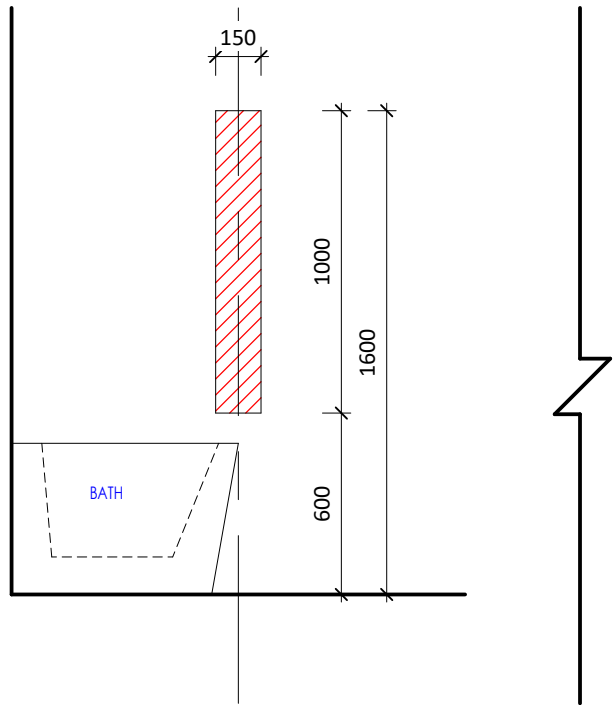
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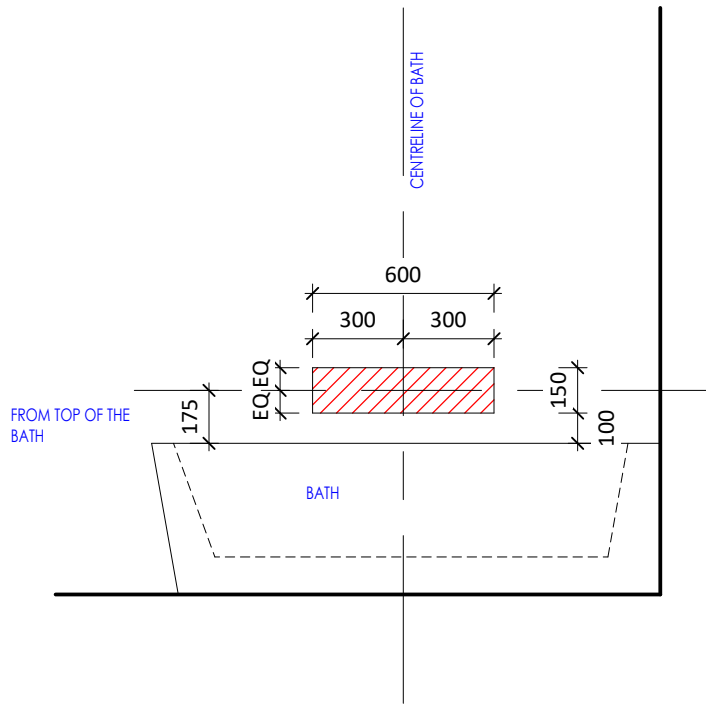
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Wind Category <b>N2</b> BAL Rating <b>LOW</b>	Draftsperson <b>JV</b> Scale As indicated	Q.B.C.C. Licenced Signatory Drawing Title <b>Fold Down Roof Detail</b> Project Name <b>Proposed - Residence</b> Client & Project Address <b>Mr Stephen Kruse</b> <b>77 Riddell Street, Bingara, NSW, 2404</b> <b>Issue for Certification</b> Property Description Lot 26 / DP1239214	Project # B597	Page # A.12h	Issue F
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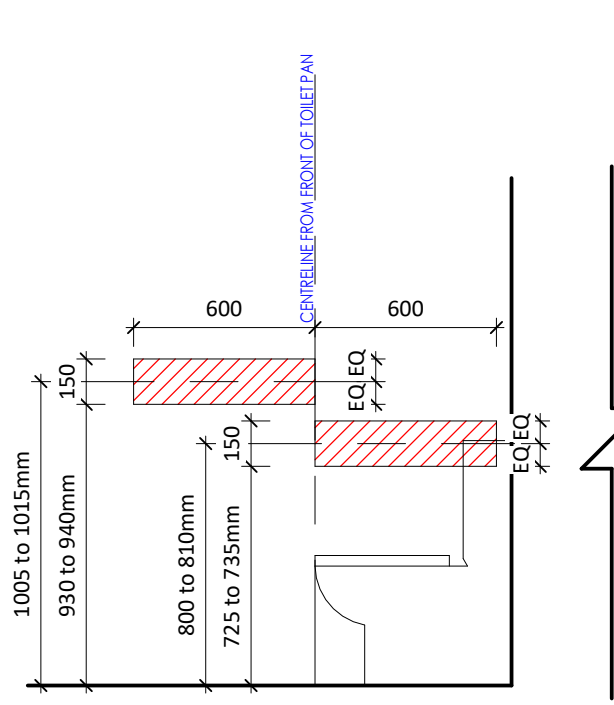




1 Section Detail  
TYPICAL WALL REINFORCEMENT 1 : 25  
- BATH

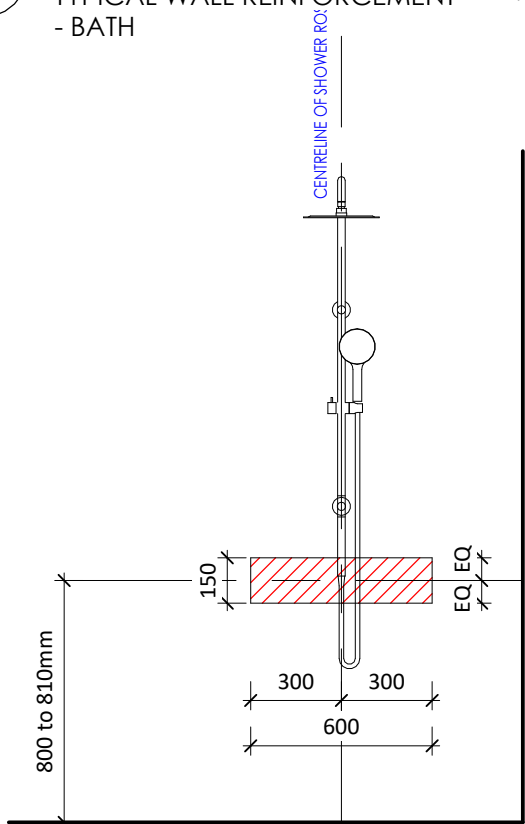


- NOTES:
- ONLY REQUIRED IF BATH IS LOCATED IN THE SAME ROOM AS COMPLIANT SHOWER AND OR TOILET
  - TAPS, BATH NICHES, TOWEL RAILS, SOAP HOLDERS ETC MAY BE LOCATED IN THE REINFORCEMENT AREA
  - WHERE HEIGHT OF BATHTUB IS UNKNOWN, ASSUME 500mm HEIGHT ABOVE FINISHED FLOOR LEVEL

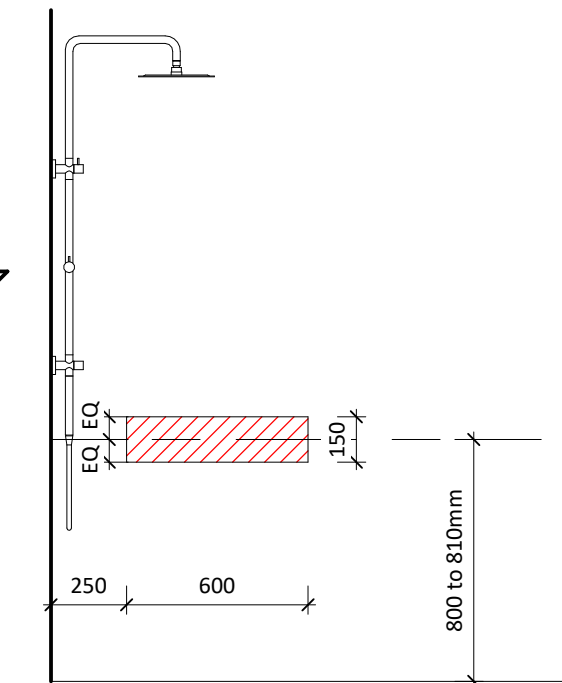


3 Section Detail  
TYPICAL WALL REINFORCEMENT 1 : 25  
- WC

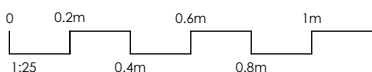
- NOTES:
- ONLY REQUIRED FOR ONE TOILET
  - TOWEL RAILS, TOILET ROLL HOLDERS ETC MAY BE LOCATED IN THE REINFORCEMENT AREA



2 Section Detail  
TYPICAL WALL REINFORCEMENT 1 : 25  
- SHOWER



- NOTES:
- ONLY REQUIRED IF SHOWER IS LOCATED IN THE COMPLIANT BATHROOM
  - TAPS, BATH NICHES, TOWEL RAILS, SOAP HOLDERS ETC MAY BE LOCATED IN THE REINFORCEMENT AREA
  - HOBLESS AND STEP FREE ENTRY TO COMPLIANT SHOWER



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Q.B.C.C. Licensed Signatory

Drawing Title

Typical Reinforcement of Compliant Bathroom / WC

Project Name

Proposed - Residence

Client & Project Address

Mr Stephen Kruse  
77 Riddell Street, Bingara, NSW, 2404

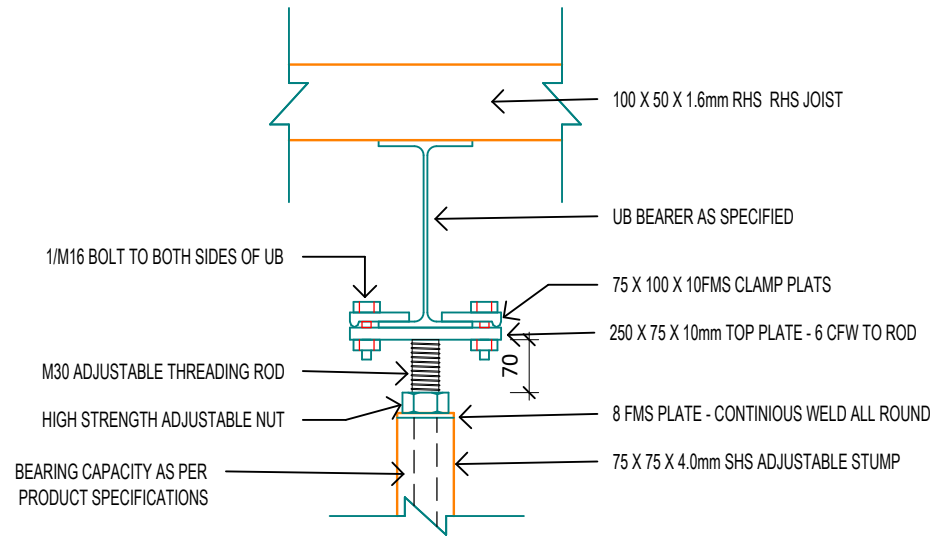
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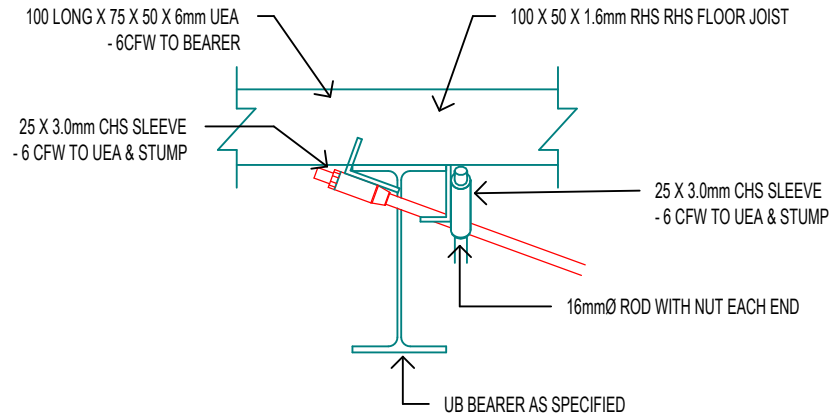
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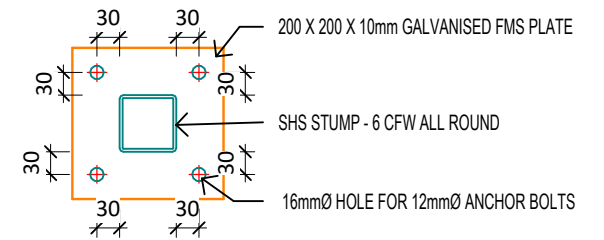
Issue  
F



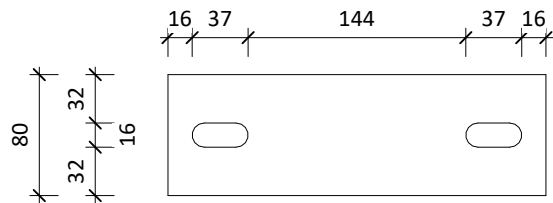
1 Section Detail  
TYP. STUMP TO BEARER DETAIL 1 : 10



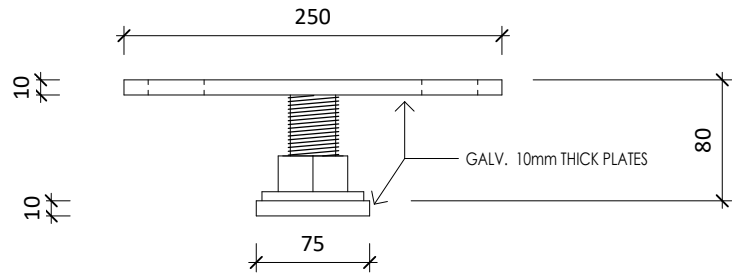
2 Section Detail  
TYP. STUMP BRACING CONNECTION DETAIL 1 : 10



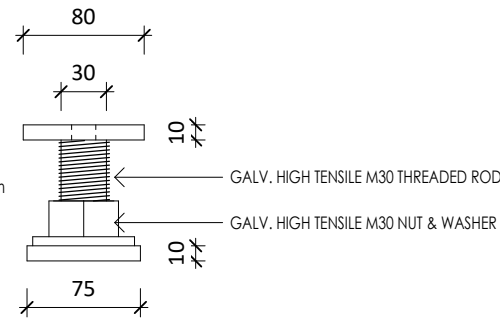
4 Plan Detail  
TYP. STUMP BASE PLATE DETAIL 1 : 10



TOP VIEW

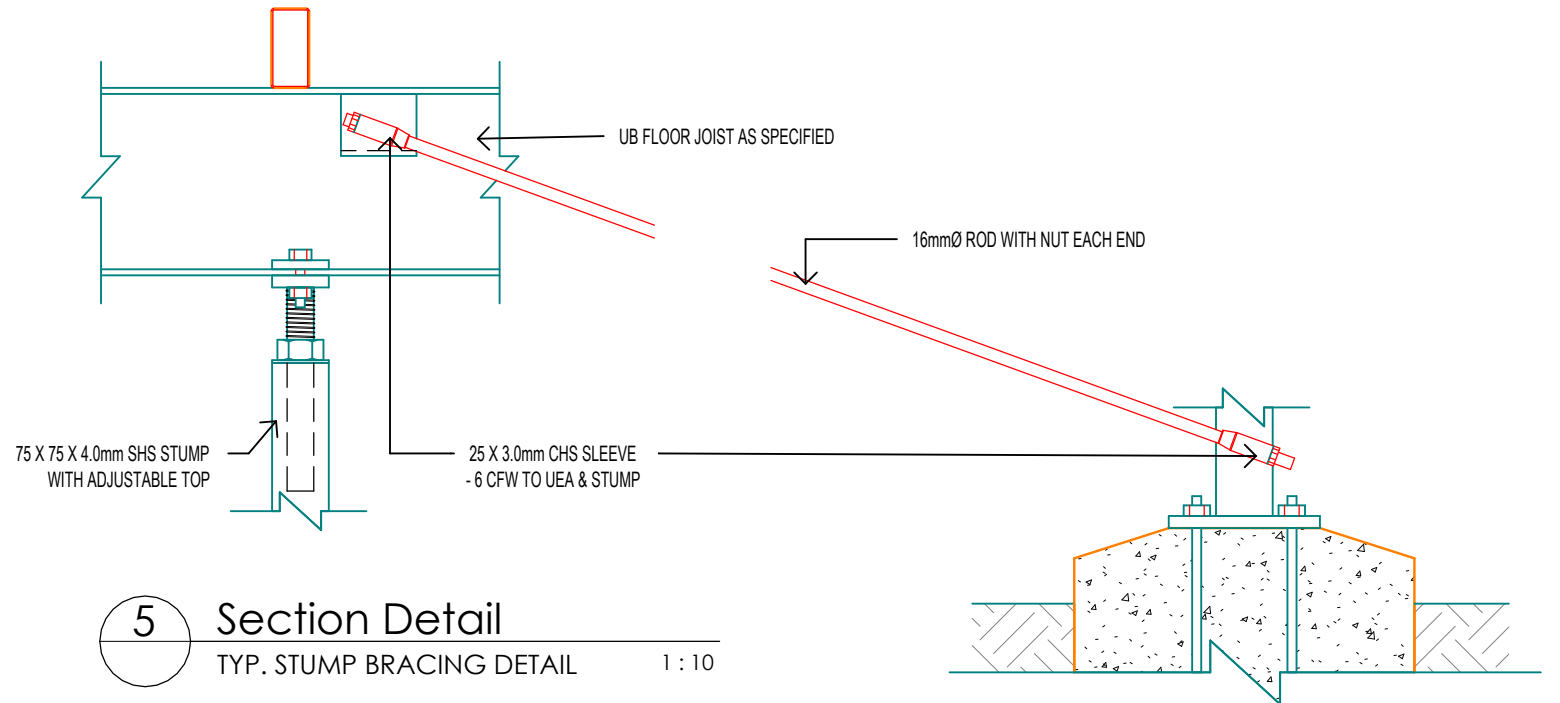


FRONT VIEW



SIDE VIEW

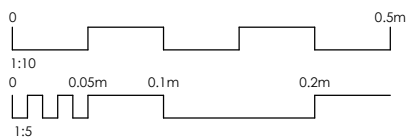
APPROXIMATELY  
BETWEEN 60 - 100mm  
AS IT'S ADJUSTABLE



5 Section Detail  
TYP. STUMP BRACING DETAIL 1 : 10

## ADJUSTABLE BRACKET

Scale 1 : 5



Issue	Description	Date
F	Issue for Engineering	11.03.2025
E	Preliminary Detailed	09.01.2025
D	Preliminary Concept and Site Adjustments	19.12.2024
C	Site Discovery Meeting	10.12.2024
B	Preliminary Concept	05.12.2024
A	Initial Design Meeting	28.11.2024

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DATE: .....



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Head Office & Factory: 38-48 Project Street Warwick QLD 4370

Q.B.C.C. Licenced Signatory

Drawing Title

Typical Details - Stump Tiedown

Project Name

Proposed - Residence

Client & Project Address

Mr Stephen Kruse  
77 Riddell Street, Bingara, NSW, 2404

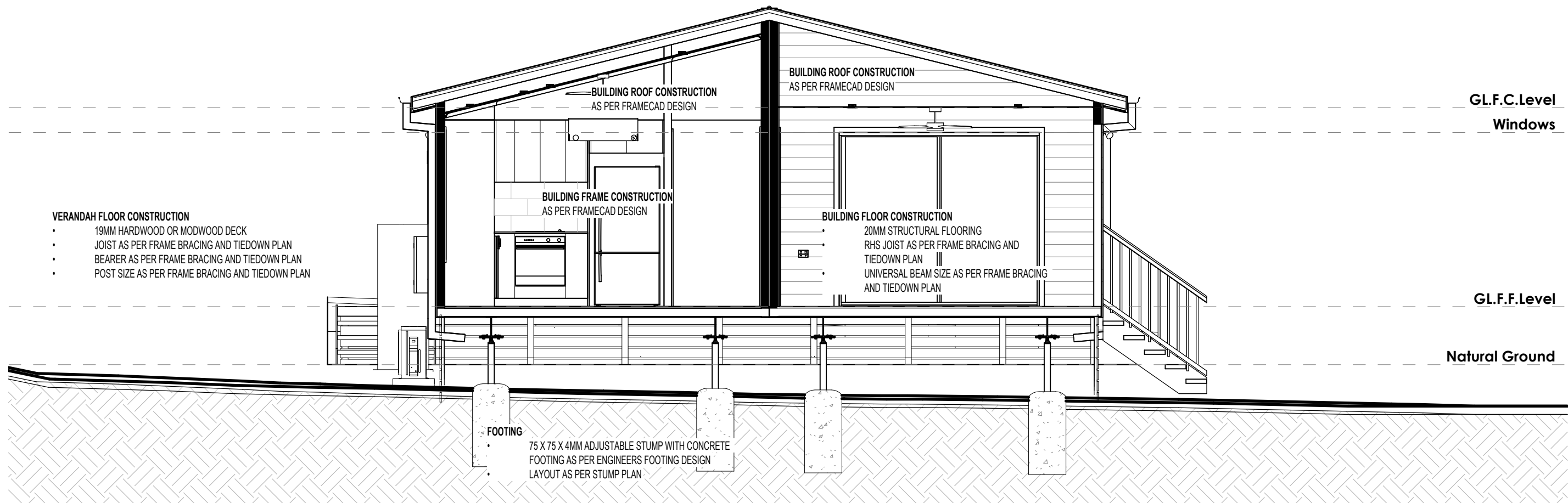
**Issue for Certification**

Property Description  
Lot 26 / DP1239214

Project #  
B597

Page #  
A.14

Issue  
F



1 Section Detail  
Typical Building Section 1 : 50



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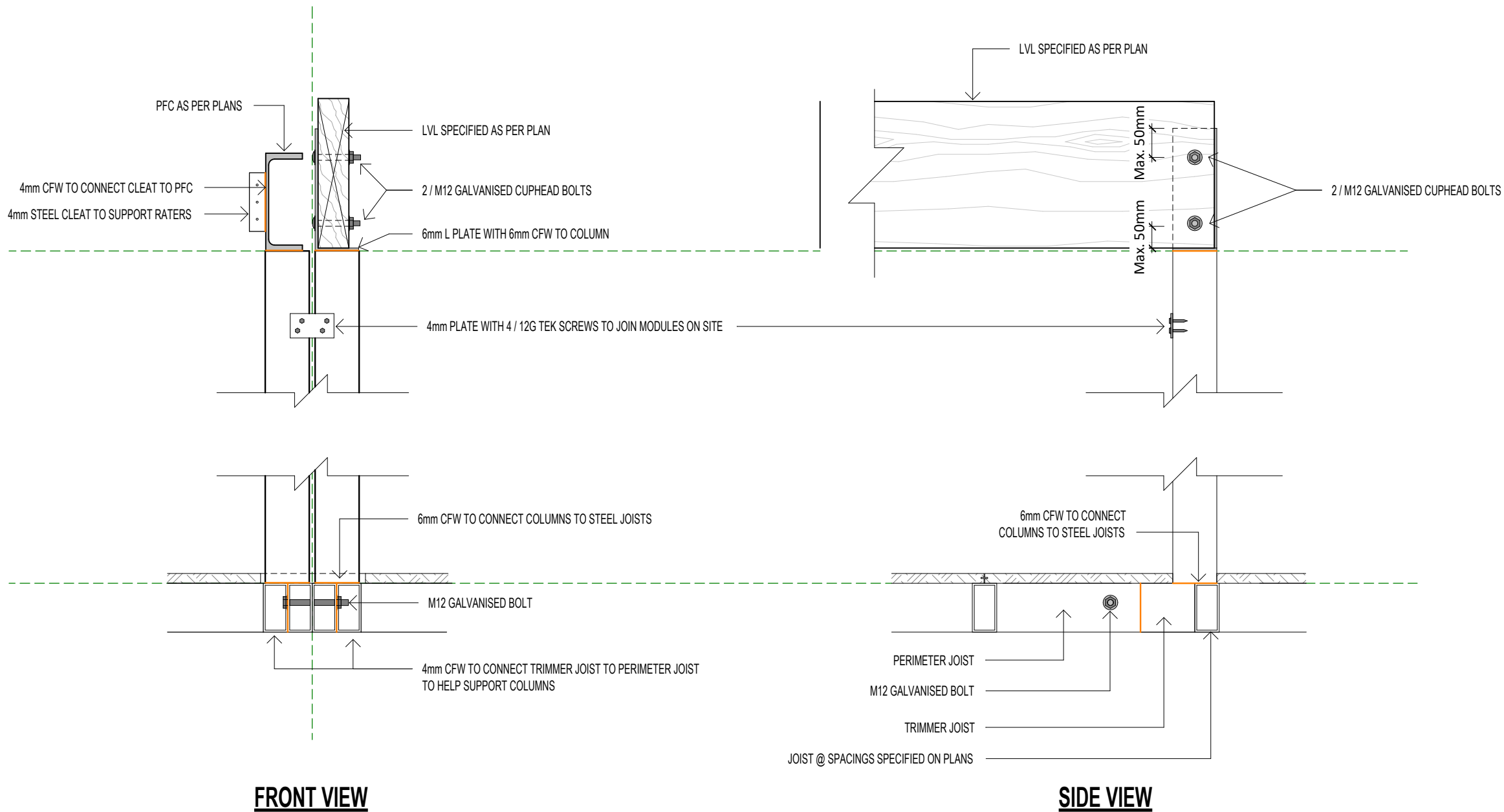
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		Building Section	
		Project Name	
		Proposed - Residence	
		Client & Project Address	
		Mr Stephen Kruse	
		77 Riddell Street, Bingara, NSW, 2404	
		Issue for Certification	
		Property Description	
		Lot 26 / DP1239214	
Wind Category	Draftsperson	Project #	Page #
N2	JV	B597	A.15
BAL Rating	Scale	Issue	
LOW	1 : 50	F	



1 Section Detail  
MODULE JOIN & BEAM TO SHS CONNECTIONS 1 : 10



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A	Initial Design Meeting	28.11.2024

Original sheet size A3 (297x420)

Plot date: 24/03/2025 2:30:27 PM

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Drawing Title

Module Join & Beam to SHS Connections

Project Name

Proposed - Residence

Client & Project Address

Mr Stephen Kruse  
77 Riddell Street, Bingara, NSW, 2404

**Issue for Certification**

Property Description  
Lot 26 / DP1239214

Project #  
B597

Page #  
A.16

Issue  
F

Wind Category

N2

BAL Rating  
LOW

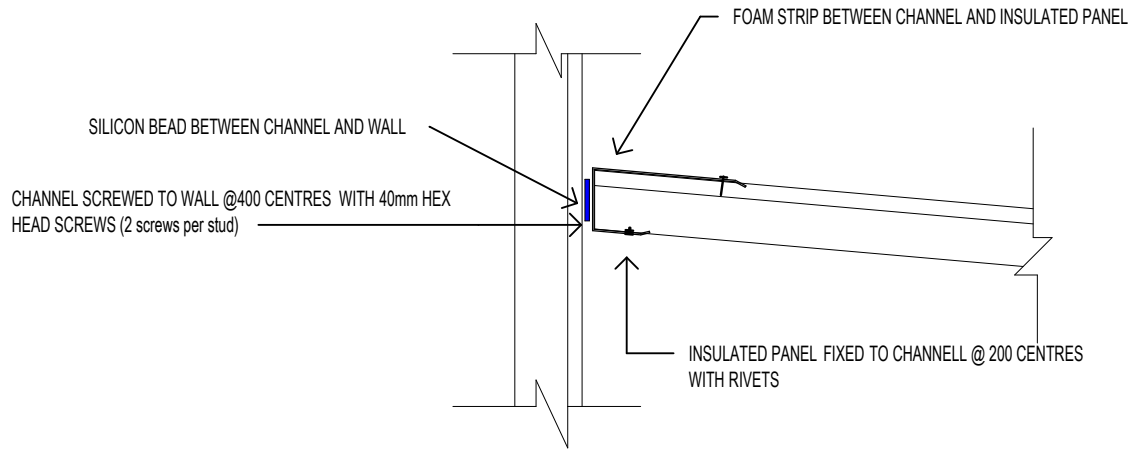
Draftsperson

JV

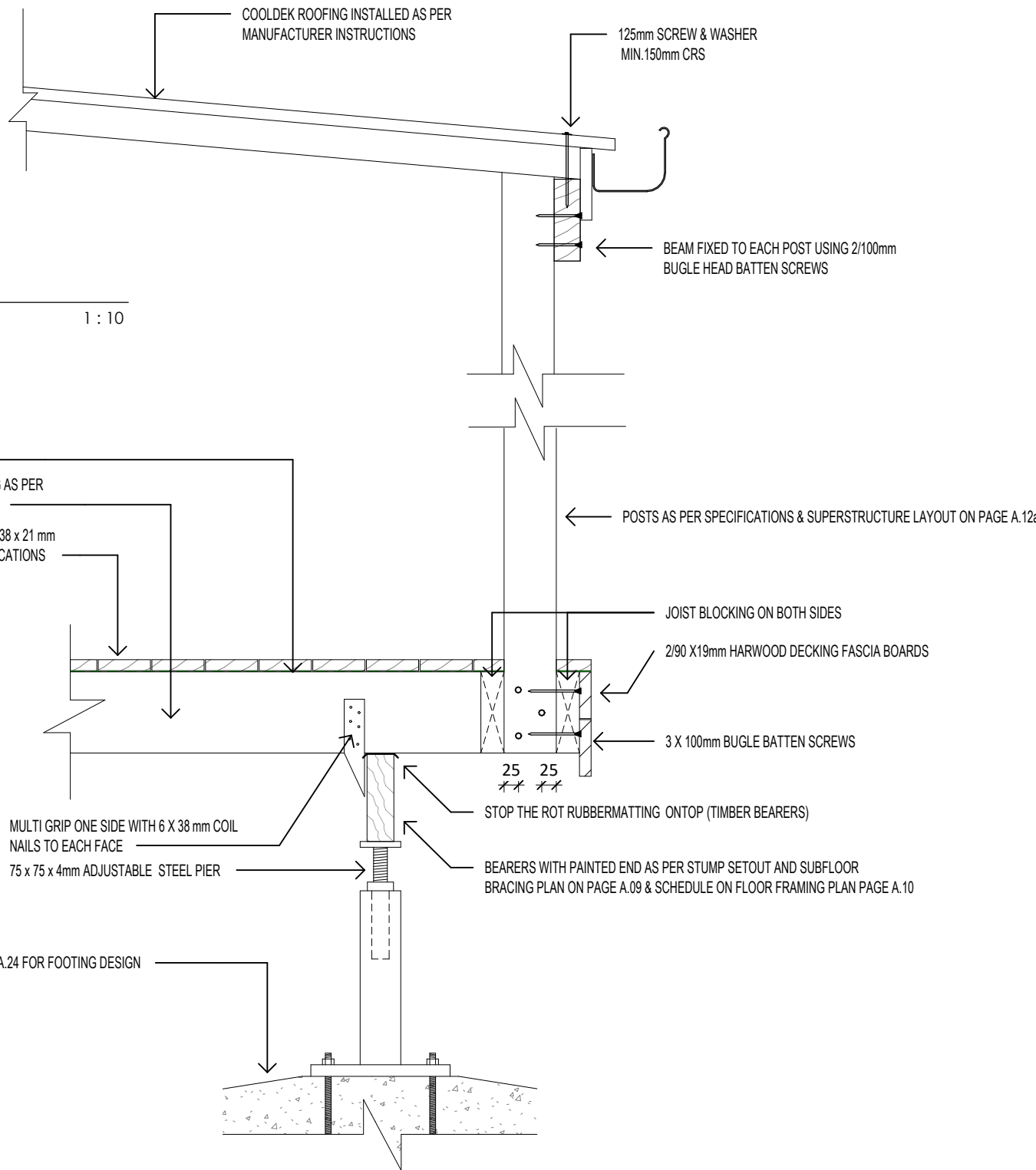
Scale

1 : 10





4 Section Detail  
VERANDAH SKILLION  
INSULATED ROOF DETAIL  
1 : 10



1 Section Detail  
VERANDAH TIMBER BEARER  
AND JOIST DETAIL  
1 : 10



Issue	Description	Date
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Drawing Title

Typical Framing - Verandah Details

Project Name

Proposed - Residence

Client & Project Address

Mr Stephen Kruse  
77 Riddell Street, Bingara, NSW, 2404

**Issue for Certification**

Property Description

Lot 26 / DP1239214

Project #

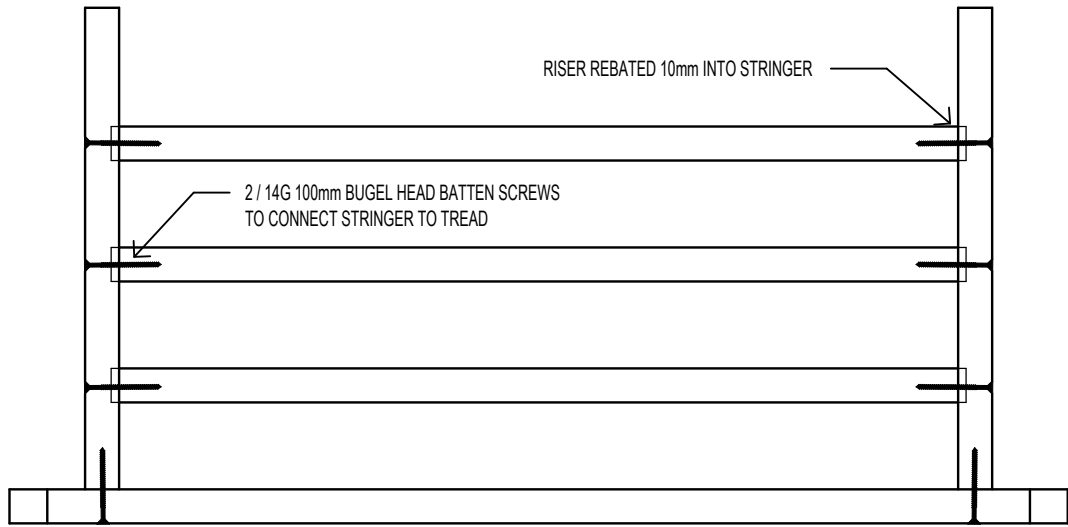
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Page #

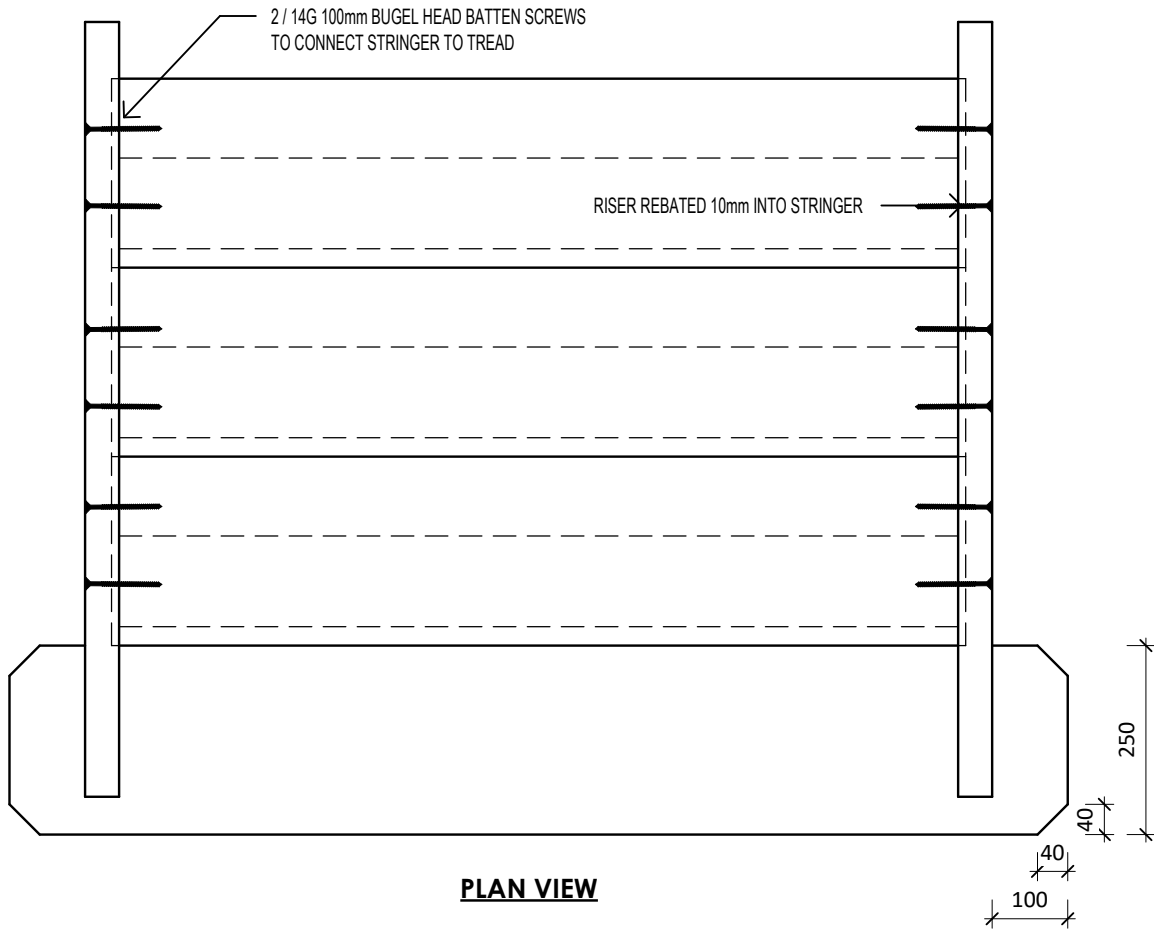
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Issue

F

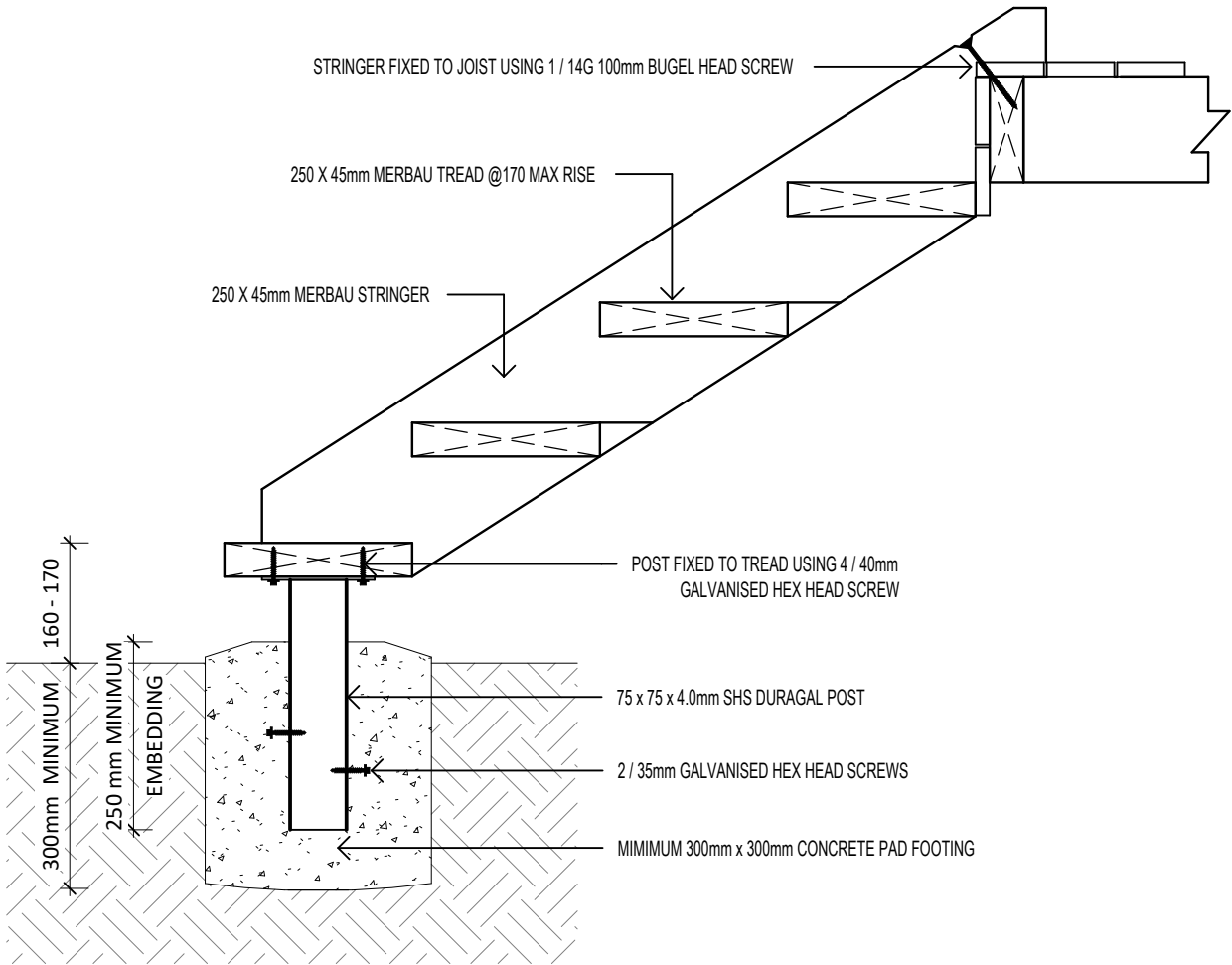


FRONT VIEW

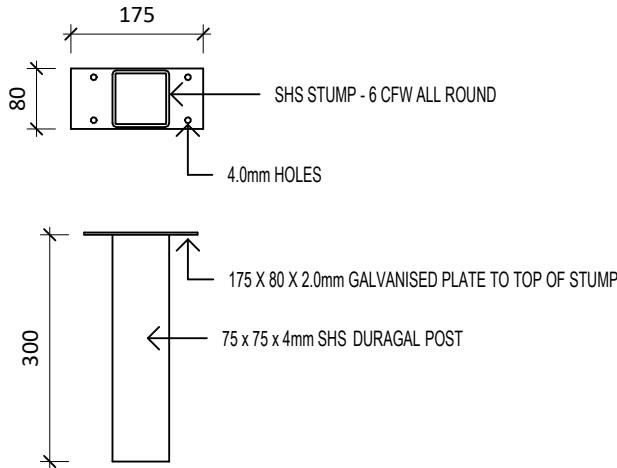


PLAN VIEW

3 Section Detail  
TYP. STAIR SETOUT  
1 : 10



2 Section Detail  
TYP. STAIR SECTION DETAIL  
1 : 10



1 Section Detail  
TYP. STAIR POST DETAIL  
1 : 10



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Drawing Title

Typical Details - Stair

Project Name

Proposed - Residence

Client & Project Address

Mr Stephen Kruse  
77 Riddell Street, Bingara, NSW, 2404

**Issue for Certification**

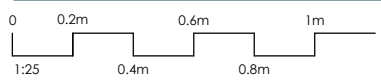
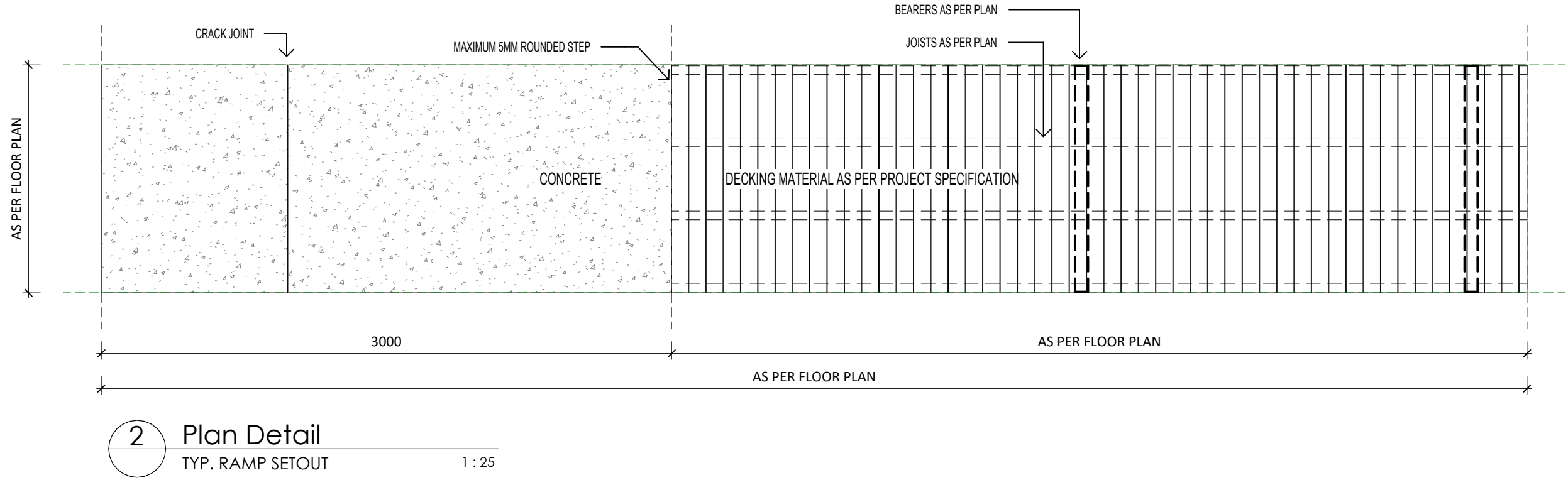
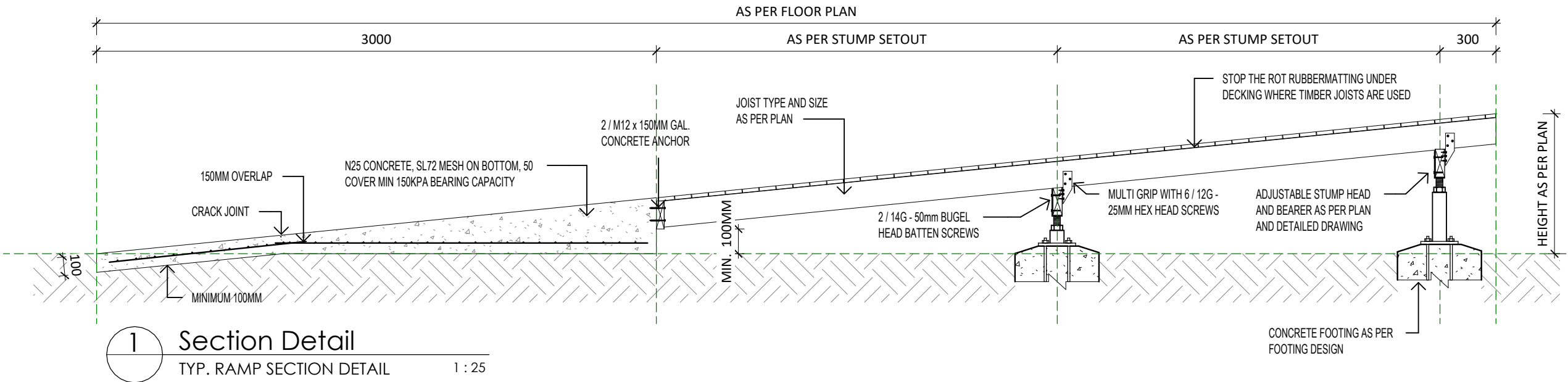
Property Description  
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Project #  
B597

Page #  
A.18

Issue  
F

TYPICAL RAMP DETAIL BASED ON 1:10 GRADIENT



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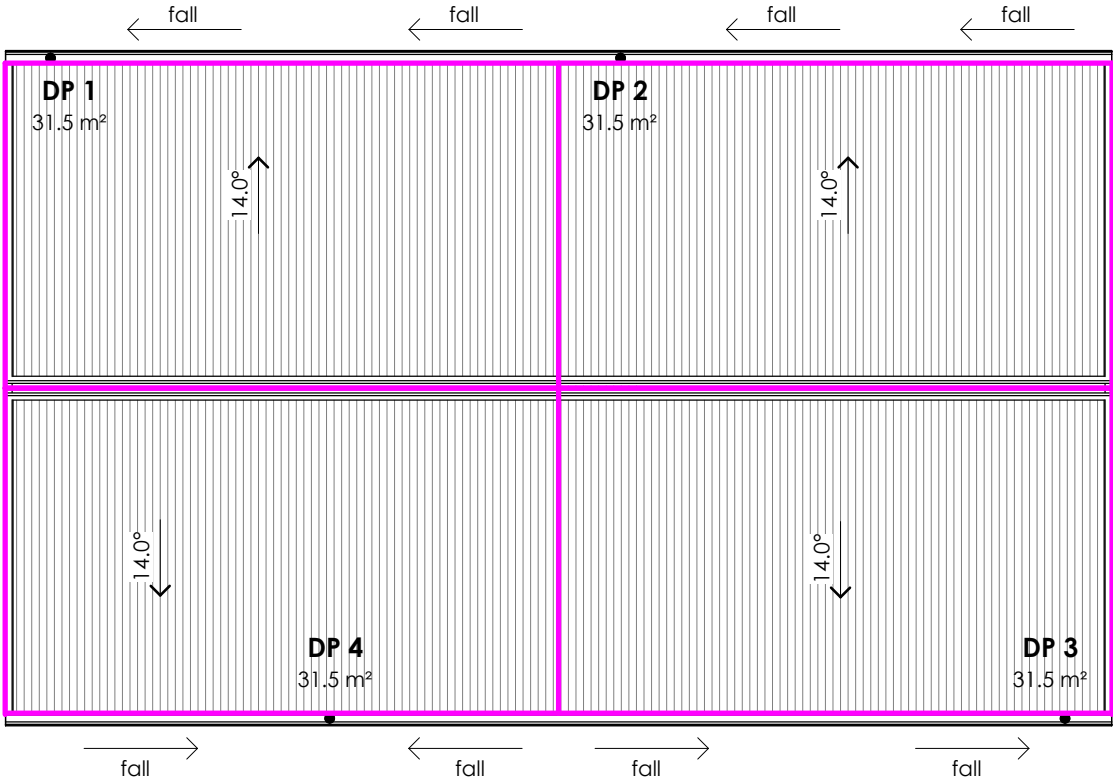
Q.B.C.C. Licenced Signatory		Drawing Title
		Typical Details - Ramp
		Project Name
		Proposed - Residence
		Client & Project Address
		Mr Stephen Kruse
		77 Riddell Street, Bingara, NSW, 2404
		<b>Issue for Certification</b>
		Property Description
		Lot 26 / DP1239214
Wind Category	Draftsperson	Project #
N2	JV	B597
BAL Rating	Scale	Page #
LOW	1 : 25	A.19
		Issue
		F





Roof Drainage Schedule (w/ Rainwater Tank Nomination)

Downpipe	Area	Nominated Downpipes	Area Nominated
DP 1	31.5 m <sup>2</sup>	Yes	31.48 m <sup>2</sup>
DP 2	31.5 m <sup>2</sup>	Yes	31.48 m <sup>2</sup>
DP 3	31.5 m <sup>2</sup>	Yes	31.48 m <sup>2</sup>
DP 4	31.5 m <sup>2</sup>	Yes	31.48 m <sup>2</sup>
Total	125.9 m <sup>2</sup>		125.93 m <sup>2</sup>



Plan

Roof Drainage

1 : 100

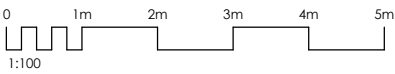
NOTES

All work to conform with Part MP 4.2 of the Queensland Development Code (QDC) (Water Saving Targets).

Roof stormwater is to discharge to local government requirements and approval. Downpipes not connected to rainwater tank/s, and rainwater tank/s overflow are to discharge to inter-allotment drainage system///// to nominated discharge points via bubbler system///// to discharge to street channel system.

Rainwater tank with a minimum capacity of 5000/9000 litres to be provided in accordance with local government planning requirements. Rainwater tank/s to be connected for internal and external use as specified in part MP 4.2 of the Queensland and New South Wales Development Code.

Downpipes connected to rainwater tanks via underground surface drain to be fitted with vermin proof rainwater heads.



1:100

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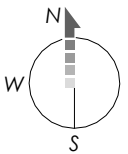
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Wind Category

N2

BAL Rating  
LOW

Q.B.C.C. Licenced Signatory

Drawing Title

Roof Drainage Plan

Project Name

Proposed - Residence

Client & Project Address

Mr Stephen Kruse  
77 Riddell Street, Bingara, NSW, 2404

**Issue for Certification**

Property Description

Lot 26 / DP1239214

Project #

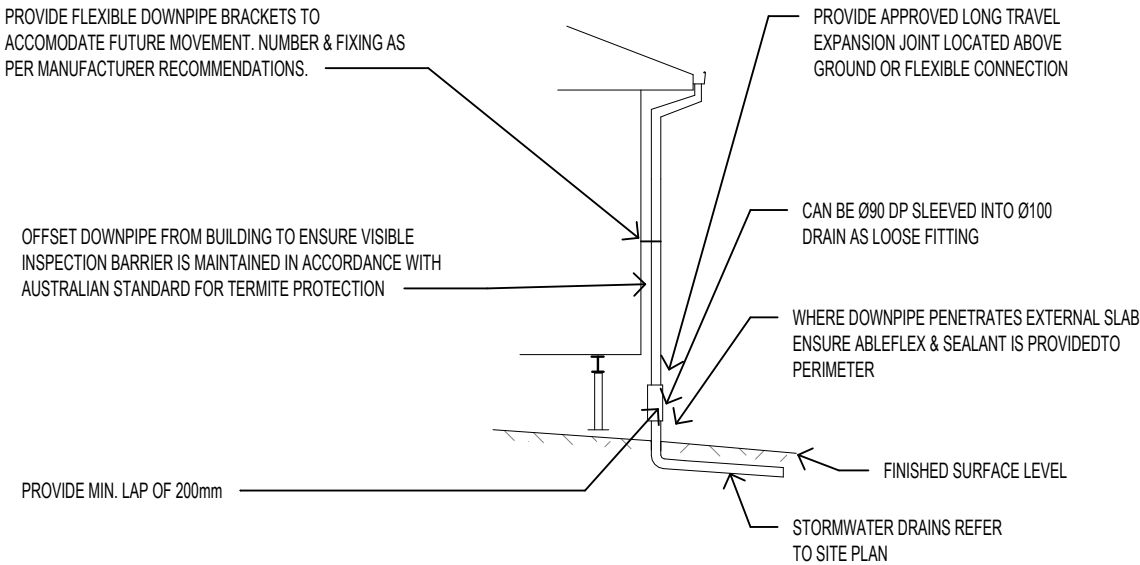
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A.21

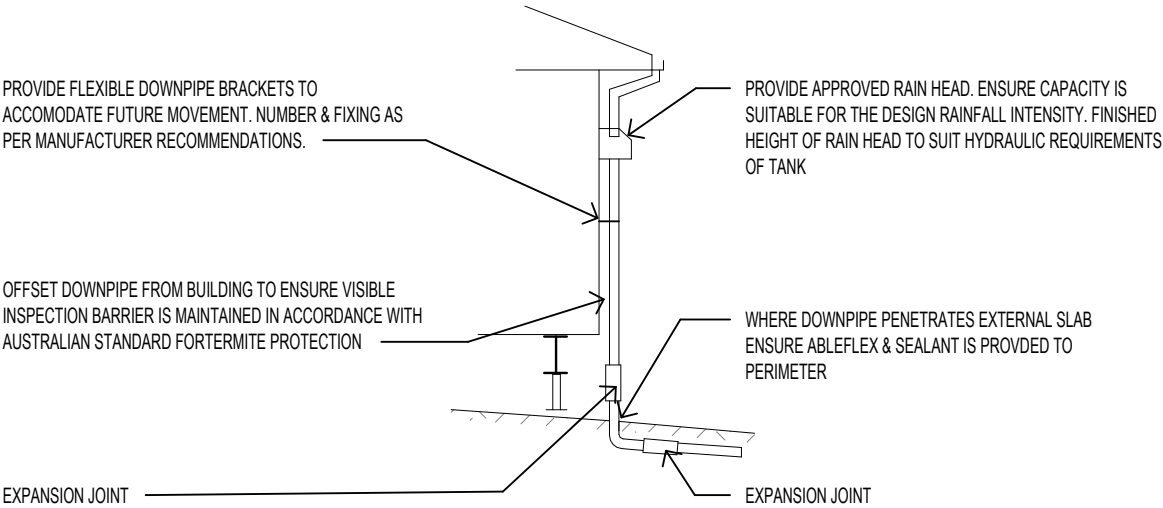
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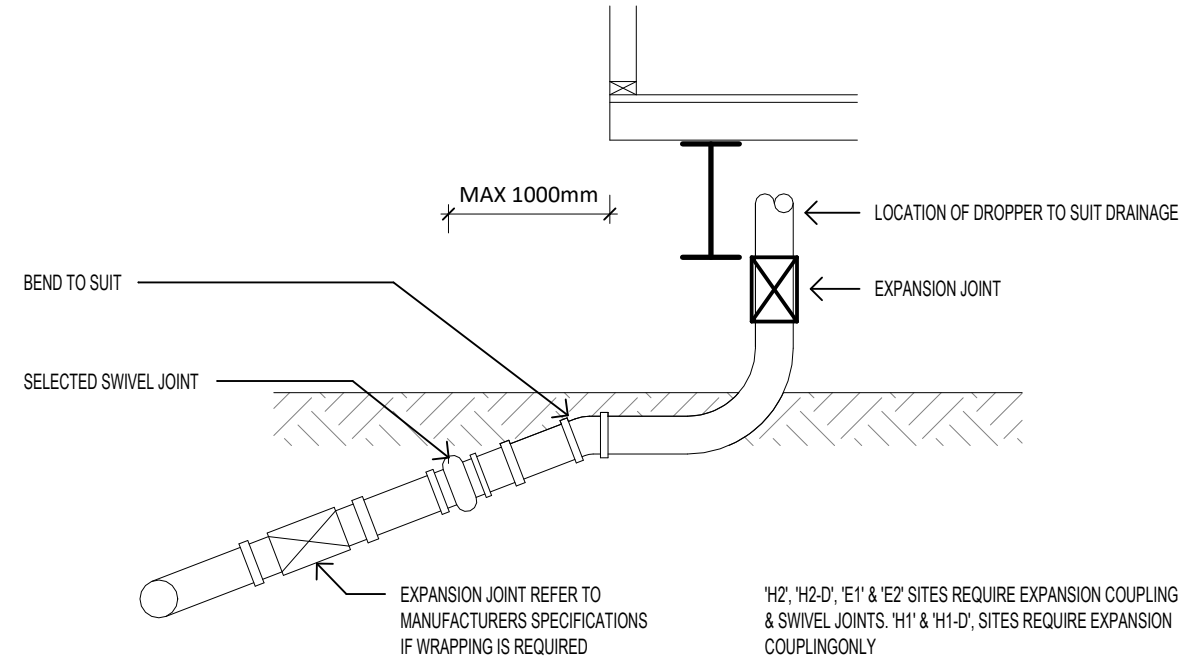


**RECOMMENDED GRAVITY DOWNPIPE CONNECTIONS TO SUIT REACTIVE SITES**

(NOT TO BE USED IF DRAINING TO TANKS)



**RECOMMENDED CHARGED DOWNPIPE CONNECTIONS TO SUIT REACTIVE SITES**



**TYPICAL PIPE THROUGH FOOTING DETAIL**

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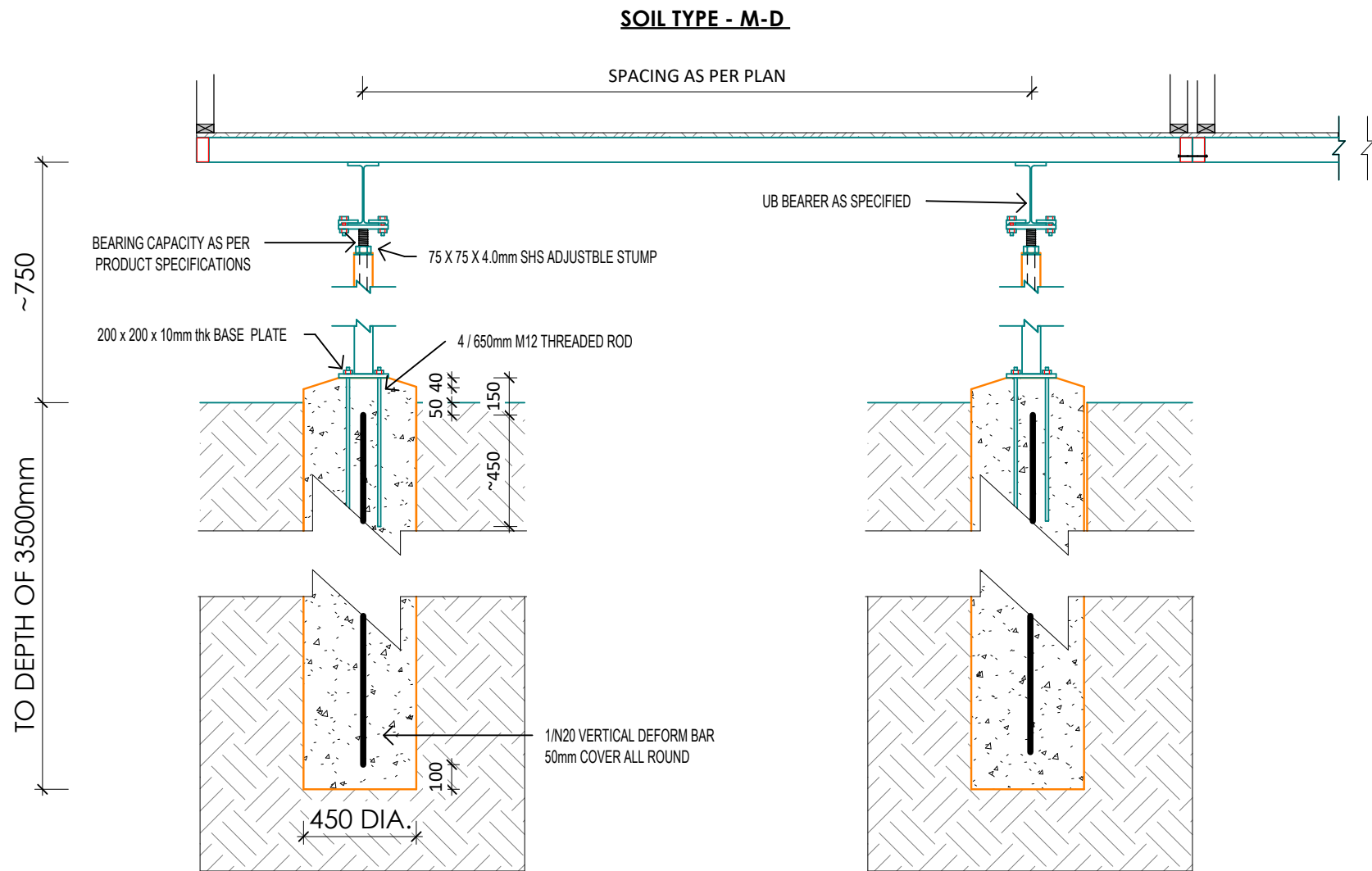
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DATE: .....



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Q.B.C.C. Licenced Signatory		Drawing Title	
		Roof Drainage Details	
		Project Name	
		Proposed - Residence	
		Client & Project Address	
		Mr Stephen Kruse	
		77 Riddell Street, Bingara, NSW, 2404	
		<b>Issue for Certification</b>	
		Property Description	
		Lot 26 / DP1239214	
		Project #	Page #
		B597	A.22
		Issue	
		F	



4 Section Detail  
FOOTING DESIGN SOIL TYPE - M 1 : 25

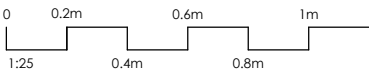
**FOOTING NOTES:**

- FOOTINGS TO BEAR ON STABLE SOIL WITH A MINIMUM BEARING CAPACITY = 300kPa
- THE BORED PIERS SHALL BE APPROVED BY GEOTECHNICAL ENGINEER, FOR THIS END BEARING AND SKIN FRICTION CAPACITY BEFORE PLACEMENT OF REINFORCEMENT OR CONCRETE.
- FOOTINGS SHALL BE LOCATED CENTRALLY UNDER WALLS AND COLUMNS UNLESS NOTED OTHERWISE.
- DO NOT EXCEED A RISE OF 1 IN A RUN OF 3 FOR THE LINE OF SLOPE BETWEEN ADJACENT FOOTINGS OR EXCAVATIONS.
- DO NOT BACKFILL RETAINING WALLS (OTHER THAN CANTILEVER WALLS) UNTIL FLOOR CONSTRUCTIONS AT THE TOP AND BOTTOM OF THE WALL IS COMPLETED.
- ENSURE FREE DRAINING BACKFILL AND DRAINAGE IS IN PLACE.
- FOR SLAB AND FOOTING REACTIVITY CLASS REFER TO SITE INVESTIGATION REPORT.
- FOOTINGS ARE TO BE CONSTRUCTED AND BACKFILLED AS SOON AS POSSIBLE FOLLOWING EXCAVATION TO AVOID SOFTENING OR DRYING OUT BY EXPOSURE.
- ALL EARTHWORKS TO BE IN ACCORDANCE WITH AS3798. REFER CIVIL NOTES.
- IMPORTED FILL PROPERTIES:
  - FILL MATERIAL TO HAVE LOW PERMEABILITY.
  - FILL MATERIAL TO BE TESTED AND CERTIFIED FOR LINEAR SHRINKAGE IN THE RANGE OF 8 TO 15%.
  - FILL MATERIAL TO BE TESTED AND CERTIFIED TO HAVE 20 TO 50% OF MATERIAL PASSING 425 MICRON SIEVE.
  - FILL MATERIAL IS TO HAVE SOME 'CLAY' BINDER. BINDER IS NOT TO BE 'SILTY' OR 'SANDY'.
  - THE FILL IS TO BE PLACED UNDER ENGINEERING SUPERVISION IN ACCORDANCE WITH THE SOIL REPORT AND AS3798-1996 REQUIREMENTS.
  - THE FILL IS TO BE TESTED AND CERTIFIED TO PROVIDE A MINIMUM BEARING CAPACITY OF 150kPa.
  - FOR ANY INTERNAL RETAINING TO THE BUILDING, OVER-FILL THE BUILDING PLATFORM AND THEN CUT-BACK TO THE LINE OF RETAINING.

**SUBGRADE**

- STRIP 100 - 200 ORGANIC SOIL AS REQUIRED
- PROOF ROLL AND SLOPE 2% AWAY FROM BUILDING
- FILL WITH BORROW PIT MATERIAL 'CBR 5' MINIMUM COMPACTED IN 150mm LAYERS TO 98% STANDARD COMPACTION

SOIL CLASSIFICATION	
SOIL TYPE	M-D
REPORT #	25-43
TESTED BY	SMK CONSULTANTS



**GENERAL NOTES:**  
THIS DESIGN & DOCUMENTATION REMAIN THE PROPERTY OF WESTBUILT HOMES  
ALL WORKS ARE TO COMPLY WITH THE FOLLOWING:  
• THE QUEENSLAND BUILDING ACT 1975 & BUILDING REGULATION 2021  
• THE QUEENSLAND PLANNING ACT 2016 & PLANNING REGULATION 2017  
• THE NSW HOME BUILDING ACT 1989 & HOME BUILDING REGULATION 2014  
• LOCAL PLANNING INSTRUMENTS, RELEVANT AUTHORITIES, BI-LAWS & PLANNING SCHEMES  
• THE CURRENT NATIONAL CONSTRUCTION CODE NCC 2022  
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**NOTE:**  
REFER TO SPECIFICATIONS FOR EXACT TILING PATTERN  
REFER TO SHOP DRAWINGS FOR CABINERY  
ALL WORK CARRIED OUT AS PER SIGNED CONTRACT DOCUMENTS

Issue	Description	Date
F	Issue for Engineering	11.03.2025
E	Preliminary Detailed	09.01.2025
D	Preliminary Concept and Site Adjustments	19.12.2024
C	Site Discovery Meeting	10.12.2024
B	Preliminary Concept	05.12.2024
A	Initial Design Meeting	28.11.2024

OWNER/S: .....  
BUILDER: .....  
DATE: .....



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Q.B.C.C. Licenced Signatory

Drawing Title

Footing Design

Project Name

Proposed - Residence

Client & Project Address

Mr Stephen Kruse  
77 Riddell Street, Bingara, NSW, 2404

**Issue for Certification**

Property Description  
Lot 26 / DP1239214

Project #  
B597

Page #  
A.23

Issue  
F